

REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, OCTOBER 23, 2019
7:30 PM
151 MARTIN STREET, CITY COMMISSION ROOM, BIRMINGHAM, MI

- A. Roll Call
- B. Review and Approval of the Minutes of the regular meeting of **September 25, 2019**
- C. Chairpersons' Comments
- D. Review of the Agenda

- E. Old Business
 - 1. **34745 Woodward, Jax Kar Wash** – Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site (**Postponed from September 11, 2019**).

- F. Special Land Use Permit
 - 1. **111 Henrietta & 195 W. Maple - Brooklyn Pizza** (including former Birmingham Geek space) – Request for Special Land Use Permit to operate a bistro with the service of alcohol in the existing Brooklyn Pizza, to be expanded, in the B4/D4 zoning district.

- G. Final Site Plan & Design Review
 - 1. **111 Henrietta & 195 W. Maple - Brooklyn Pizza** (including former Birmingham Geek space) – Request for Final Site Plan & Design Review to convert the former Birmingham Geek space into restaurant space to expand the existing Brooklyn Pizza space, including exterior changes to the building.

- H. Preliminary Site Plan Review
 - 1. **469 -479 S. Old Woodward** (former Mountain King and Talmer Bank) – Request for Preliminary Site Plan & Community Impact Study approval for construction of a new five story mixed use building in the B4/D4 zone district (**Postponed to November 13, 2019**).
 - 2. **344 N. Old Woodward** (Morganroth & Morganroth Building) - Request for approval to expand the second and third floors of the existing building and to add a fourth floor of residential units.

- I. Study Session Items

Rules of Procedure for Study Sessions: Site Plan and Design Review, Special Land Use Permit Review and other review decisions will not be made during study sessions; Each person (member of the public) will be allowed to speak at the end of the study session; Each person will be allowed to speak only once; The length of time for each person to speak will be decided by the Chairman at the beginning of the meeting; Board members may seek information from the public at any time during the meeting.

 - 1. **Master Plan Update**

- J. Miscellaneous Business and Communications:
 - a. Communications
 - b. **Administrative Approval** Correspondence

Notice: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

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- c. Draft Agenda for the next Regular Planning Board Meeting (**November 13, 2019**)
 - d. Other Business

K. Planning Division Action Items

- a. Staff Report on Previous Requests
- b. Additional Items from tonight's meeting

L. Adjournment

**CITY OF BIRMINGHAM
REGULAR MEETING OF THE PLANNING BOARD
WEDNESDAY, SEPTEMBER 25, 2019**

City Commission Room
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on September 25, 2019. Vice-Chairman Bryan Williams convened the meeting at 7:30 p.m.

A. ROLL CALL

Present: Board Members Robin Boyle, Stuart Jeffares, Bert Koseck, Daniel Share, Janelle Whipple-Boyce, Bryan Williams; Alternate Board Member Nasseem Ramin; Student Representative Sophia Trimble

Absent: Chairman Scott Clein, Student Representative John Utley

Present in Audience: Alternate Board Member Jason Emerine

Administration: Jana Ecker, Planning Director
Brooks Cowan, City Planner
Laura Eichenhorn, Transcriptionist

09-143-19

B. Approval Of The Minutes Of The Regular Planning Board Meeting of September 11, 2019

Mr. Jeffares asked that the section regarding 117 Willits note that the Board's concerns were satisfied regarding changes requested at the previous meeting.

Mr. Share noted that page two, line five needed the word "too" to be added. He noted that on page three, line three the date should be changed to reference the August 14, 2019 meeting and not the incorrect date of August 11, 2019.

Motion by Mr. Share

Seconded by Mr. Jeffares to approve the minutes of the Regular Planning Board Meeting of September 11, 2019 as amended.

Motion carried, 5-0.

VOICE VOTE

Yeas: Share, Jeffares, Koseck, Whipple-Boyce, Williams

Nays: None

Abstain: Boyle, Ramin

09-144-19

C. Chairperson's Comments

Vice-Chairman Williams conveyed Chairman Clein's apologies regarding his absence due to illness. Vice-Chairman Williams then requested that Planning Director Ecker explain why discussion of the first draft of the master plan was postponed until the City Commission-Planning Board joint meeting scheduled for October 17, 2019.

Planning Director Ecker explained the discussion was postponed in order to provide sufficient time for both the Board and the Commission to review the materials and to discuss the matter jointly.

09-145-19

D. Approval Of The Agenda

There were no changes to the agenda.

09-146-19

E. Special Land Use Permit and Final Site Plan & Design Review

1. 2159 E. Lincoln – Lincoln Yard (former bus garage) – Request for approval of a Special Land Use Permit and Final Site Plan and Design Review to renovate a vacant industrial building and operate two restaurants, Lincoln Yard and Little Yard utilizing an Economic Development license.

City Planner Cowan presented the item.

Planning Director Ecker told the Board the Commission would likely be setting a date for a public hearing at their October 7, 2019 meeting to determine whether this property would be included as part of the economic development district.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Share to receive and file one email from Alicia Birach, dated September 11, 2019 and one email from Sarah Winkler, dated September 23, 2019, both in support of the Lincoln Yard restaurant site.

Motion carried, 7-0.

VOICE VOTE

Yeas: Whipple-Boyce, Share, Boyle, Ramin, Jeffares, Koseck, Williams

Nays: None

Mr. Share noted that the Cross Access and Parking Easement Agreement must be updated to reflect the correct address of Lincoln Yard at 2125 E. Lincoln, Birmingham, Michigan instead of

the incorrect 2525 E. Lincoln address provided. He also said the document the Board is not recorded, and that whatever is approved must be recorded so subsequent owners are bound.

Mr. Jeffares wondered whether the City might want there to be design consistency between the proposed on-site bicycle racks and benches and the bicycle racks and benches found elsewhere in the City. Mr. Jeffares also stated that if the project goes forward developers will have installed 22 City-standard lamp posts on one side of the street, and the City will have installed zero lamp posts on the other side of the street. Mr. Jeffares observed that the City has lowered its tax rate five years in a row while saying it does not have sufficient funds to perform these and similar installations.

Vice-Chairman Williams said it would be presumptive for the Board to recommend this site for an economic development license when the Commission has not decided how to proceed regarding a potential economic development district expansion. He said he was in favor of the project while not being in favor of the timing of the request. He stated he would not vote in favor of the proposal during the evening's meeting. Vice-Chairman Williams explained he was most in favor of considering the zoning issue for the area both separately and prior to considering the issue of a specific economic development license (EDL).

Vice-Chairman Williams invited the applicant to address the Board.

Curt Catalo of Union Joints addressed the Board and said he was present with Union Joints co-owner and lead designer Ann Stevenson, Eric Lyons, Matt Leone as lead project manager, Tony Yearego as project manager for the Lincoln Yard project, Jeff Klatt from Krieger Klatt, and Katherine Aboud from Armstrong White.

Mr. Catalo proceeded to thank City Planner Brooks and Planning Director Ecker for their work presenting the project to the Board. He then explained:

- In contrast with the project Union Joints proposed two years prior in Birmingham, this project is not seeking a bistro license.
- Typically if another developer were to come into the same space, they would propose tearing down a cinderblock building. Union Joints prefers to repurpose buildings and provide communities with a type of establishment the community does not already have.
- In response to concerns raised by Mr. Share and Vice-Chairman Williams regarding whether the proposed shared parking arrangements would provide adequate parking spaces during the day, that the hours the Armstrong White lot would have the most spaces available directly match Lincoln Yard's and Little Yard's needs. During lunch when there are more cars in the Armstrong White lot, only Little Yard will be open and it will be providing primarily grab and go service. When Lincoln Yard is open in the evenings for dinners, the Armstrong White lot will be entirely available for Lincoln Yard patrons.
- Union Joints emphasized solving potential parking issues at this site from the outset by choosing to develop in a very walkable area and by providing ample on-site parking.
- On site Little and Lincoln Yards have 42 times more spots than any restaurant Mr. Catalo could walk to from the City's municipal building at 151 Martin Street.
- It is appropriate for the parking lot availability to be reciprocal so that Armstrong White also has access to the Lincoln Yard lot, but Mr. Catalo does not anticipate that Armstrong White will generally utilize spaces in the Lincoln Yard lot.

- Union Joints anticipates many people will be walking or cycling to both Little and Lincoln Yards because designers at Armstrong White will be able to leave their cars in the Armstrong White and grab a quick meal, or people utilizing the ice rink or other local facilities would already be parked in the municipal lot.

City Planner Cowan summarized that there are 49 parking spaces on site at Lincoln Yards, nine parking spaces on street, and an additional 16 parking spaces through the proposed shared parking agreement with Armstrong White. The City requires that 65 parking spaces be available on-site.

Mr. Boyle cautioned the Board that concerns over a lack of seven parking spaces, in an area with extensive parking available, should not be the determining factor in the Board's decision regarding this proposed \$3 million development.

Planning Director Ecker explained that under City ordinance the Board would not deduct the Lincoln Yard spaces that may be reciprocally available to Armstrong White. All those spaces may remain part of the Lincoln Yard parking space total. She also reminded the Board that the City performed a parking study in the Rail District approximately two years ago and found 2,483 parking spaces at that time. She stressed that there is ample parking in the Rail District, and especially in the south end of the Rail District where Lincoln Yard is proposed.

Mr. Jeffares said:

- He drives through the area frequently and has never seen an overflow of cars parked in the area. He added that a few days prior to the present meeting he drove by the ice rink and noted there were no cars parked in the rink's lot.
- If the Board's concern is having sufficient parking available during the lunch hour during the week, when school is in session the entire ice rink parking lot is empty. When school is not in session, the City melts the ice and puts in six pickleball courts, which will also not fill up the ice rink's parking lot during the day.
- The Board received letters of support from people who live in the neighborhood of Lincoln Yard saying they would be inclined to walk to the establishment.
- The Rail District is the largest neighborhood in Birmingham in terms of density which means that walking to Lincoln Yard will be an attractive option for many members of the community.
- He agreed with Mr. Boyle, saying that to stymie this project over seven parking spaces would be a mistake on the Board's part.

Mr. Koseck broached the architecture of the site, asking whether there was a way to increase the feeling of this building being connected to the street and therefore more of a pedestrian dominant area. He said that since the building cannot be moved his approach would be to increase the connectivity through changes to the hardscape and landscape. He said he would make a more heavily landscaped area by moving the landscaping forward and one parking space back in order to make a more pronounced entry for pedestrians.

Mr. Catallo agreed, saying Lincoln Yards could only benefit from making the changes Mr. Koseck was recommending.

Mr. Koseck continued, suggesting that the curb cut should be moved to align with the eastern-most drive aisle. He said he would do this to pull the driveway away from the pedestrian linkage which will also lead to cars slowing down. This would also provide Lincoln Yard's trash collectors a straight entrance to the establishment's dumpster instead of having to drive through the parking lot. He said he would like to see the pedestrian entryway emphasized more possibly with a bench and some lighting as well. Mr. Koseck said that would be an opportunity for Lincoln Yard to brand itself.

Mr. Catallo concurred, saying that Union Joints has made a number of changes since their first appearance in front of the Board with this project two years prior, but that there is more room to make changes to the layout of the parking lot.

In reply to Ms. Whipple-Boyce's question regarding meeting the 70% glazing requirement, Mr. Catallo explained:

- Lincoln Yards goes above the City's required glazing band but that it does not help the glazing calculations.
- The view from the street would include a lot of glazing that is not in the glazing calculation because it is a stand alone building. Observing that the City's glazing requirements are based off of storefronts, Mr. Catallo said the Lincoln Yards building stands in contrast to that since there is glazing at all four corners of the building.
- A driver would see incalculable glazing since they would see the glazing on the opposite side of the building which is not factored into the site's glazing requirements.
- Union Joints hopes their proposal satisfies the intention of the City's glazing requirement by providing an open, airy feeling. When they looked at changing the glazing so that it matched the City's requirements without needing calculations of the side windows and the side doors, it ended up looking like an auto repair establishment instead of a restaurant.
- Ms. Stevenson has worked very hard to celebrate the original intent of the building, and Union Joints believes their proposal maintains the glassiness of the building even if it does not meet the glazing requirement.

Mr. Jeffares drew the Board's attention to the fact that the Board reviewed this project on August 14, 2019 and in 2017. He said that the Board is usually good about not perseverating on an issue they have reviewed multiple times before and that the bottom line is that this is an excellent project. He said changing the glazing would make the building less aesthetically appealing than the submitted plans, and that holding the plans up over seven parking spaces would ignore the abundant parking available in the area. Mr. Jeffares maintained that the Board should not get lost in the details to the detriment of the overall proposal. He allowed that there may be some minor tweaks that would benefit the project, but that overall the project is of exceptional benefit and value to the City.

Mr. Boyle agreed with Mr. Jeffares, adding only that during the August 14, 2019 review he was eager to enhance pedestrians' ability to access the site. He said that he walked by three Birmingham restaurants recently which he was able to access via alleyways. He said he would love to be able to walk from Cole Street to Lincoln Yard as well.

Mr. Catallo said Union Joints is passionate about increasing access to the Lincoln Yard, and would

be interested in making the boundaries between Lincoln Yard and any of its neighbors more walkable should the neighbors be interested in doing that.

Mr. Boyle said that if pedestrian access is not discussed at the Board level then it often does not occur. He said he was very serious about the benefit to Lincoln Yards that would follow from better pedestrian access to and from Cole. Mr. Boyle also urged the City to help make this area more walkable.

Vice-Chairman Williams invited public comment.

Katherine Aboud of Armstrong White addressed Board Members' concerns regarding available parking spaces at Armstrong White. Noting Mr. Share observed a nearly full parking lot at Armstrong White earlier on September 25, 2019 and was concerned about space availability, Ms. Aboud clarified that Armstrong White did have an event that morning that led to unusually high parking lot utilization. Speaking as someone at Armstrong White every weekday and sometimes on weekends, Ms. Aboud stressed that the Armstrong White lot, and the area in general, has a great deal of available parking. She said there is not high density parking use in the area. She concluded by reiterating her enthusiasm for the Lincoln Yard project, and said she hoped the the Board would move the project forward.

Mr. Share said he accepted Ms. Aboud's report of the parking situation in the area and that he did not now see a need for a parking study.

Motion by Mr. Share

Seconded by Mr. Boyle that based on a review of the plans submitted, as the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, the Planning Board recommends approval to the City Commission of the Special Land Use Permit for 2159 E. Lincoln – Lincoln Yard to the City Commission, with the following conditions:

- 1. The applicant obtain zoning amendment approval for the subject property to be eligible for an Economic Development Liquor License according to Chapter 126, Zoning Ordinance Appendix C, Exhibit 1, and Chapter 126, Zoning Ordinance Article 2, Section 2.39 MX Uses Requiring a Special Land Use Permit.**
- 2. The applicant provide details regarding what type of liquor license they will transfer into the City, who owns it, who it was purchased from, and whether or not they have endorsements attached to the liquor license.**
- 3. That the cross-parking agreement should allow cross parking during all hours the facilities are open.**
- 4. That the instrument recorded with the Oakland County Registrar of Deeds.**
- 5. That it be a breach of the SLUP if a parking agreement is not in effect.**
- 6. That the SLUP prohibit the relocation of ingress/egress drives without SLUP amendment.**

Motion carried, 6-1.

VOICE VOTE

Yeas: Share, Boyle, Whipple-Boyce, Ramin, Jeffares, Koseck

Nays: Williams

In reply to Vice-Chairman Williams, Mr. Koseck confirmed he would be comfortable with City staff approving enhancing the pedestrian entrance, increasing the landscaping, lighting and benches at the pedestrian entrance, and moving the ingress/egress to the east. He said staff should determine if moving the ingress/egress to the east can or cannot be done. He said he sees these as safety issues. Mr. Koseck also emphasized that he is enthusiastic about the project in general.

Mr. Emerine spoke as an engineer and a member of the public. He said that moving the entrance to the east would be safer for a shorter garbage truck, but not as safe for a longer delivery truck with a 40' trailer. He said shifting the entrance would make it impossible for the delivery trucks to access the loading docks. He noted that if a truck shows up in the late morning then it would be forced to make complicated maneuvers in order to use the lot while there are pedestrians walking to the restaurant. Mr. Emerine recommended shifting the entrance over so it lines up with the 21' radius to make the entrance line up north and south or staggering the curb to make a bit more room for the truck's end. He said he was more concerned about trucks hitting pedestrians than slow cars.

In reply to Ms. Whipple-Boyce, Mr. Emerine said he agreed that the safety of the left-hand turn into the lot should be fine since cars will be driving very slow in making the turn and looking for a space.

In reply to Vice-Chairman Williams, Mr. Emerine confirmed Union Joints could consider signage that indicates pedestrians will be crossing or any other number of enhancements to increase the safety of the area.

Motion by Mr. Koseck

Seconded by Mr. Boyle that based on a review of the plans submitted, as the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, the Planning Board recommends approval to the City Commission of the Final Site Plan and Design Review for 2159 E. Lincoln – Lincoln Yard to the City Commission, with the following conditions:

- 1. The applicant obtain zoning amendment approval for the subject property to be eligible for an Economic Development Liquor License according to Chapter 126, Zoning Ordinance Appendix C, Exhibit 1, and Chapter 126, Zoning Ordinance Article 2, Section 2.39 MX Uses Requiring a Special Land Use Permit.**
- 2. The applicant indicates a color for the city standard benches and trash receptacles.**
- 3. The applicant provides window details demonstrating an 80% VLT or greater.**
- 4. The applicant provide location and design specifics for the outdoor dining refuse containers.**
- 5. The applicant provides details regarding the material, size and height of the signs, as well as how they are attached to the wall.**

6. The applicant provides an operations floor plan.

7. The applicant provide details regarding what type of liquor license they will transfer into the City, who owns it, who it was purchased from, and whether or not they have endorsements attached to the liquor license.

8. The landscape zone south of the main entrance to the building be increased in width by reducing one parking space to the west of said landscape zone and increasing the parking lot to the east by one space to compensate to increase both the linkage to the pedestrian right of way and to increase safety.

9. The applicant shall meet with adjacent property owners to explore pedestrian access on the north side of the proposed restaurant and report the results to City staff.

Motion carried, 6-1.

VOICE VOTE

Yeas: Koseck, Boyle, Share, Whipple-Boyce, Ramin, Jeffares

Nays: Williams

2. 298 S. Old Woodward – Daxton Hotel – Request for approval of a Special Land Use Permit and Final Site Plan and Design Review to consider granting approval for a hotel liquor license in the B4/D4 zoning district.

Planning Director Ecker presented the item. She noted that conditions two, three and four could be removed from the approval criteria since the applicant indicated they would not be pursuing outdoor dining at this time.

Vice-Chairman Williams conveyed Chairman Clein's concerns about hours of operation and noise levels, specifying that Vice-Chairman Williams believed Chairman Clein's concerns to primarily regard outdoor dining. Vice-Chairman Williams said other residents had also expressed concerns about noise levels since the outdoor dining proposal was included in the agenda materials available to the public. Observing that the fifth floor of the site will be residential, Vice-Chairman Williams ventured that the applicant would also be concerned about noise levels. He concluded that discussions of outdoor dining at this site in the future would entail readdressing concerns about hours and noise levels.

Mr. Jeffares commented that the plans approved in August 2017 included a lighted via with a wine bar, and now the plans describe a storage room for the hotel with a small outdoor space potential for banquet functions. Describing the Townsend's banquet rooms as frequently devoid of activity while facing the street, Mr. Jeffares queried what pedestrians would routinely see when passing by the windows of the Daxton given the proposed changes. He noted that these and other changes are significant, and wondered how they changed so much from the originally reviewed plans.

Planning Director Ecker confirmed for Mr. Share that the parking that would be available would be able to handle the hotel's proposed volume of activity.

Mr. Share said he was not convinced that a hotel would need to be able to serve liquor from 7

a.m. to 11 a.m. in order to remain competitive.

Ms. Whipple-Boyce shared Mr. Jeffares' concerns about the changes in the plans. The Board had been provided with a set of plans to review, and when they arrived at the evening's meeting they were provided with a different set of plans many pages in length. Ms. Whipple-Boyce stressed the unlikelihood that Board Members would be able to pinpoint all the differences between the two lengthy sets of plans during the course of the meeting alone, and said she hoped that the applicant would be able to point out the changes that had been made.

Mr. Koseck agreed with Mr. Jeffares' and Ms. Whipple-Boyce's concerns. He said he noted the window sizes, colors, and other attributes were changing, and that he was not clear whether those changes had been previously accepted or whether those were modifications the Board Members were considering during the present meeting.

Ms. Whipple-Boyce noted the material of the proposed railings had also changed.

In response to one of Mr. Koseck's questions, Vice-Chairman Williams stated the public had not been provided with the documents the Board Members received at the outset of the evening's meeting.

Mr. Boyle agreed with his colleagues' stated concerns. He noted that the 'Previous' and 'Current' plans provided were dated for the same day, which he said was confusing as a reader.

Rick Rattner, attorney for the project, addressed the Board. He said he did not like having to deliver a set of plans the night of a meeting, but that he had tried to make necessary updates as quickly as possible in order to have them available for the Board, and subsequently the Commission. He continued:

- The whole set of plans was re-provided to the Board Members, but that the only changes were the ones noted specifically in Planning Director Ecker's review. He said it was not his or the applicant's intent to provide the Board Members with an unreasonable number of changes to review during the meeting.
- Every one of the documents attached to the SLUP was permitted and approved by the City. The applicant has moved forward with construction based on all the approved plans.
- In a large project like this, it is to be expected that there will be changes to the plans. All those changes were brought to the requisite City department for approval.
- Tim Ugima, president of the developer, Jeffrey Silverman, general counsel and executive vice-president of the developer, Marshall Butler, architect for the project, Pat Howe, the project's liquor attorney, and Aaron Black, the manager of the Daxton, were all in attendance.

In reply to Mr. Koseck's questions regarding the differences between the hardcopy plans provided to the Board and the elevation being shown on the projection screens, Mr. Butler explained that the hardcopies provided represented the accurate plans and the images being projected were preliminary drawings.

Planning Director Ecker explained the approved plans would have gone through the City's permit review process.

Ms. Whipple-Boyce recalled that after original approval the applicant returned to the Board where the metal panel material on the top floor was changed to a lighter-colored stucco, the railing was changed from glass to the present metal, and the residential rooms on the fifth floor have terraces.

Mr. Butler asked that the Board disregard the outdoor furniture specifications that were included in the electronic materials provided for the site, as the applicant is not pursuing outdoor dining at this time.

Ms. Whipple-Boyce asked Mr. Butler to delineate any other differences between the previous electronic materials provided and the accurate hardcopy materials provided regarding the site.

Mr. Butler stated:

- The southernmost streetlamp in front of the entry to the building is included in the hardcopy materials.
- A single story of bump-out is permitted with a long horizontal window as indicated in the hardcopy materials.
- The outdoor dining was removed from the hardcopy materials.

Mr. Butler then replied to Mr. Jeffares' comments regarding the winebar and the via, and to Mr. Boyle's question regarding the difference between a 'wine room' and a 'wine bar'. He explained:

- The applicant's decision to relocate the wine bar was to downsize that aspect of the hotel and tie it to the front of the building on the Old Woodward side.
- The proposed storage room of the via may become something different in future years depending on how the hotel operates.
- The wine room, as proposed, would not be accessible off of the via space. One must enter through the hotel in order to access the wine room. He said he would have to defer to another member of the applicant's team for further answers regarding how the space would be operated.

Aaron Black, general manager of the hotel, said the wine room would not be operated as an ongoing bar business for public access. It could be used as banquet space or for wine storage or display with cabinetry around the room.

Ms. Whipple-Boyce observed that the Board was being asked to approve the floor plan included in the paper packet, which indicated sofas and lounge chairs and decorations in the storage and wine room spaces. Given that Ms. Whipple-Boyce said she was comfortable with those proposed layouts. She also noted that the word 'gallery' does not necessitate retail and could refer to an entryway or vestibule, which she suggested was more likely the intent of the word in the plans. While Ms. Whipple-Boyce said she was sorry to lose the wine room and the outdoor dining from the via, she referenced the previous discussion regarding Lincoln Yard, and stated that such a tremendous and beneficial investment in the City should not be hindered as a result of something as small as moving a wine room off the via.

Mr. Black clarified that the wine room and parlors could be rented both by hotel guests and outside patrons who wanted to use the space. He explained that these spaces being at the front

of the building means they will be show ready at all times in order to create an inviting environment. He explained that the storage rooms off the via are currently unprogrammed space but that it behooves the hotel to find something compelling and attractive to passerby. Mr. Black emphasized that it would be a lost opportunity for the hotel not to leverage that space to positive effect.

Mr. Share asked Mr. Black to consider a way that the Board could include the requirement for that room to remain productive and active within the SLUP requirements.

After being told that the room could not be screened off from the street to use it for storage, Mr. Black said he would need a bit more time to consider what parameters he could suggest to the Board for use of the space.

Vice-Chairman Williams underscored a previous point made by Mr. Jeffares that the Board does not want the storage room to resemble the Maple Road window view of Whole Foods. Vice-Chairman Williams added the window of the former Birmingham Drugs, which is now a CVS, and the window of Triple Nickle facing Woodward are two more windows the applicant should avoid replicating. He recommended the applicant visit those three locations to get a sense of what window views the Board would not look kindly upon.

Mr. Howe updated the Board on the liquor license application process for the hotel. He said the hotel would be applying for permits for portable bars to be used in reception and banquet areas in addition to the license being applied for from the State. The entire hotel would also be licensed from 7 a.m. to 2 a.m. because under state law, if a hotel guest wished to order an alcoholic beverage at time, the hotel bar could pour the drink and bring it up to the guest's room. That being the case, Mr. Howe also said the hotel is sensitive to noise issues and conscious of the fact that it will be a residential hotel.

Mr. Rattner added one comment regarding the via that the hope is still to maintain the area as an outdoor speakeasy with lights. He confirmed this with the owner, and these plans and plans for outdoor dining were included in the establishment's liquor application. He said the intent is that it would develop so that the plans for the via can be implemented appropriately.

Mr. Black confirmed for Vice-Chairman Williams that the Daxton Hotel would be sharing the same management company as the Foundation Hotel and Apparatus Room, both located in downtown Detroit. He stated that the ambience of the Daxton Hotel would be tailored to fit its Birmingham location, just as the ambience of the Foundation Hotel was tailored to fit its energetic downtown environment.

Vice-Chairman Williams replied, opining that the Foundation Hotel and Apparatus Room are fabulous and that while there will be differences between the Foundation and the Daxton, maintaining the same level of quality will be important.

Mr. Howe confirmed for Mr. Boyle that if the Daxton chose to pursue a course towards activating what is currently called the storage room on the plans, the Daxton would not need to return to the State for an update to their liquor license as the whole building will be licensed once their current application is approved.

Vice-Chairman Williams clarified that the applicant would, however, need to return to amend their SLUP should they choose to install a permanent bar in any room not already approved as part of the original SLUP application.

Mr. Koseck addressed his fellow Board Members regarding the concerns raised about the windows of Whole Foods and Triple Nickle. He said that while he was not seeking to defend those establishments, both require a back-of-house which necessitates some of those aspects showing through the windows of their business. He explained the storage room being proposed is about the size of a one-and-a-half car garage which is 50 to 60 feet deep into the via, and pedestrians will pass a long wall where nothing of the interior will be visible. He said that while the storage for the banquet room items should have been determined appropriately prior to this meeting, the Daxton will need a space to store its banquet tables and chairs. Speaking as an architect Mr. Koseck explained that plans for a building tend to evolve right up until an application is approved by the City, and that is to be expected. He said he did not want to see the Board compel the Daxton to run a business in the 300 square feet in the back of the via.

It was clarified for Mr. Koseck that the plans the Board would be approving tonight would include the storage room with transparent windows, as indicated in the plans.

Motion by Ms. Whipple-Boyce

Seconded by Mr. Share that based on a review of the plans submitted, as the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, the Planning Board recommends approval to the City Commission of the Special Land Use Permit for 298 S. Old Woodward – The Daxton Hotel, with the following conditions:

- 1. The applicant correct all plan sheets for consistency and submit a revised operations plan if required prior to appearing before the City Commission;**
- 2. The applicant provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals prior to appearing before the City Commission; and**
- 3. The applicant comply with the requests of the City Departments, especially Engineering.**

Motion carried, 7-0.

VOICE VOTE

Yeas: Whipple-Boyce, Share, Koseck, Boyle, Ramin, Jeffares, Williams

Nays: None

Motion by Ms. Whipple-Boyce

Seconded by Mr. Share that based on a review of the plans submitted, as the Planning Board finds that all of the requirements of Article 7, Section 7.27 and Article 7, Section 7.34 have been met, the Planning Board recommends approval to the City Commission of the Final Site Plan and Design Review based on the submission of September 25, 2019, attached as Exhibit A, for 298 S. Old Woodward – The Daxton Hotel, with the following conditions:

- 1. The applicant correct all plan sheets for consistency and submit a revised operations plan if required prior to appearing before the City Commission;**
- 2. The applicant provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals prior to appearing before the City Commission; and**
- 3. The applicant comply with the requests of the City Departments, especially Engineering.**

Motion carried, 7-0.

VOICE VOTE

Yeas: Whipple-Boyce, Share, Koseck, Boyle, Ramin, Jeffares, Williams

Nays: None

09-147-19

F. Pre-Application Discussion

1. 635 Elm Street – The Elsman

John Marusich, architect, presented the conceptual drawings for an establishment that would be located at the corner of Elm and Bowers. The area is Zone MU-3, which allows for a building to go to 66 ft. in height if it meets the LEEDS and residential requirements, which the applicant intends to do. The basement will have parking, the street level will have the required retail component fronting on Elm, levels two and three will have a mix of one and two bedroom units, level four will be stepped back and have two units that share a terrace facing west and three units along the sides, and level five will be stepped back and will be one residential unit spanning the length of the building. These will be condominiums. There will be 21 residential units, with 1.5 parking spaces per unit. There will be 2100 sq. ft. of retail, and seven parking spaces for that. Five on-street parking spaces would count towards the building's required total. Thirty-six of the parking spaces would be located in the basement of the building. The balconies railings will be glass, and there will be seven foot sidewalks provided per the code requirements for the Triangle District. As planned, the balconies extend out six feet, but those may be reduced to five feet. The lowest balcony would be 16 feet off the ground.

Planning Director Ecker advised Mr. Marusich that the City has recently adopted ordinance language dealing with projections into the right of way at grade space and below. As a result, the proposed balconies would require a special approval from the City Commission.

Mr. Marusich said he would look into the City's roof ordinances as well, as he hoped to provide green space on the roof as an amenity.

Mr. Koseck explained that there was a rationale for creating criteria for projections into the right of way, since it encroaches visually on what would otherwise be public space. Mr. Koseck then asked how Mr. Marusich perceives the demand for the units, and whether he would apportion them differently if parking requirements were not a factor.

Mr. Marusich said that larger units tend to sell less quickly than smaller units, but that the larger units will be upscale and appropriately designed for Birmingham. He then said he welcomed comment from the Board Members.

Vice-Chairman Williams said that the project would have to navigate the balcony issue and that the City needs more residential units available in the Triangle District.

Mr. Share said that slightly smaller units with slightly lower price points would be valuable to the City.

Mr. Marusich agreed, and noted Mr. Koseck's earlier point that parking requirements limit the number of apartments that can be offered. He also noted that Mr. Boyle had made the same point at prior Board meetings.

Mr. Marusich said the City's parking requirement discussion is evolving productively for the market demands. He explained he is doing projects in Detroit where if the development is within ¼ mile of Woodward the parking requirement is .75 spaces per unit. He also said he has been searching for an appropriate project in Birmingham to undertake with a particular developer he works with, but that the City's parking requirements have prevented them from being able to do so. He said that if he could build 700 - 800 sq. ft. one bedrooms and 1200 - 1300 sq. ft. two bedrooms that would be more of what both the City and the market are looking for.

Mr. Marusich thanked the Board for their feedback and bid them good evening.

09-148-19

G. Miscellaneous Business and Communications:

a. Communications – Joint Meeting with City Commission, Thursday, October 17, 2019

b. Administrative Approval Correspondence

c. Draft Agenda for the next Regular Planning Board Meeting (October 23, 2019)

- Brooklyn Pizza Bistro/SLUP Application
- 344 N. Old Woodward, postponed from this evening's agenda
- Jax Kar Wash
- Possibly 469-479 S. Old Woodward for a five-story building

d. Other Business

09-149-19

H. Planning Division Action Items

a. Staff Report on Previous Requests

b. Additional Items from tonight's meeting

09-150-19

I. Adjournment

No further business being evident, the Vice-Chairman adjourned the meeting at 10:28 p.m.

Jana L. Ecker

Planning Director

DRAFT



MEMORANDUM

Planning Division

DATE: October 16, 2019

TO: Planning Board Members

FROM: Jana Ecker, Planning Director

SUBJECT: 34745 Woodward – Jax Kar Wash – Final Site Plan & Design Review (All changes since September 11, 2019 in blue type)

The applicant has submitted a Final Site Plan and Design Review application to make minor site and building design changes to 34745 Woodward – Jax Kar Wash. The roughly 0.59 acre site is currently home to the aforementioned Jax Kar Wash and associated parking and service equipment. The applicant is proposing to update their site to include the relocation of detailing spaces to the north side of the building and a redesign of the vehicular circulation pattern, including parking, and minor changes to the existing building and signage.

On July 24, 2019 and August 14, 2019, the Planning board reviewed the Final Site Plan and Design for this site, and ultimately postponed the matter to September 11, 2019. The Planning Board requested that the applicant revise their plans to accommodate better screening of vehicles and cleaning equipment on site, and to reconfigure the streetscape along Woodward Avenue and Brown Street. The Planning Board requested that the applicant add landscaping and street trees to complement the Woodward and Brown Street streetscapes at the Balmoral Building on the north side of Brown Street and those throughout Downtown Birmingham.

On September 11, 2019, the Planning Board reviewed the applicant's revised plans to include landscaping in one area along Brown Street and in a bed near the corner of Woodward and Brown. Board members provided feedback to the applicant that they had significant concerns regarding the lack of screening along Brown and Woodward, especially as detailing activities are now proposed to be moved in front of the existing building. The Planning Board also expressed concern with the proposed contraflow of traffic along the raised portion of the Woodward MDOT right-of-way (including the public sidewalk) adjacent to the Jax site. The Planning Board voted unanimously to continue the matter to the October 23, 2019 Planning Board meeting to have the applicant amend their plans to comply with all ordinances, obtain approval from MDOT for the proposed use of the right-of-way, and to meet with both the Planning and Engineering Departments together to resolve the outstanding site plan and design issues.

At this time, the applicant has reached out to MDOT seeking approval of the proposed contraflow use of the Woodward right-of-way by vehicles. MDOT advised that they would permit this use if the City of Birmingham provided full indemnity to MDOT for such use. The applicant has advised that their attorney will review this request with the City Attorney. The applicant has not revised the proposed plans from the

September 11, 2019 meeting, and has not met with the Planning and Engineering Departments to attempt to resolve the outstanding issues with the proposed site plan. The applicant has advised that they plan to apply to the Board of Zoning Appeals for all required variances. An application to the Board of Zoning Appeals has not yet been submitted.

1.0 Land Use and Zoning

1.1 Existing Land Use – The site is currently used as commercial and parking, and contains the Jax Kar Wash and its associated parking.

1.2 Zoning – The property is zoned B-2 (General Business), and D-4 in the Downtown Overlay District.

1.3 Summary of Adjacent Land Use and Zoning – The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	North	South	East	West
Existing Land Use	Commercial/ Office	Mixed Use	Commercial	Commercial/ Office
Existing Zoning District	B-4, Business - Residential	B-3, Office - Residential	O-2, Office/ Commercial	B-2, General Business
Overlay Zoning District	D-4	D-4	MU-5	D-3

2.0 Setback and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project.

3.0 Screening and Landscaping

3.1 Dumpster Screening – The applicant is not proposing any changes to the existing dumpster or associated screening. The existing dumpster is located in a corner at the rear of the property and screened with wood fencing.

3.2 Parking Lot Screening – Article 4, Section 4.54(C)(3)(d) of the Zoning Ordinance requires that a masonry screenwall be placed along the front or side of any parking facility that abuts a street. The applicant has not proposed to screen the updated lot. The applicant has submitted revised plans that propose the addition of landscaped areas booth at the northwest and northeast corners of the property to assist in screening the parking area on the north side of the building where 6 cleaning and detailing spaces are proposed. **Between these landscaped areas there is no screening proposed along the north property line to screen the vehicles**

parked for cleaning. No screening has been added on Woodward at the southeast corner of the site to screen the parking along the southern property line from Woodward. The applicant must screen the parking lot in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals.

3.3 Mechanical Equipment Screening – There are no changes proposed to the existing mechanical equipment on site, and there are no new units proposed. The applicant is proposing the addition of 6 vacuum stations in the proposed detailing area north of the existing building (2 vacuum stations per station). This equipment will be visible to the public from Brown Street. Article 4, Section 4.45(C)(5) of the Zoning Ordinance states that screening is required adjacent to all ground mounted mechanical equipment that is visible to the public, in order to obscure the equipment from public view. This issue was discussed at the Planning Board meeting on July 24, 2019, and board members requested that the applicant add screening along the entire northern property line along Brown Street (other than driveways) to screen both the vehicles parked for detailing and the detailing equipment. **The applicant has not added the required screening along Brown Street, and will be required to do so or obtain a variance from the Board of Zoning Appeals.**

3.4 Landscaping – Article 4, Section 4.20(C)(1) of the Zoning Ordinance exempts any property in the Downtown Overlay District from the standards outlined in Section 4.20(F) – Parking Lot Landscaping. However, the applicant has shown a circular landscape area on the proposed site plans. Although no landscaping is required, the applicant has submitted a landscape plan showing a central Honeylocust tree surrounded by gro-lo fragrant Sumac and Liriope plantings in the proposed raised circular landscaping bed.

At the Planning Board meeting on July 24, 2019, the Planning Board expressed concern about the lack of landscaping on this site, particularly along the Woodward and Brown frontages. The Planning Board requested that the applicant add in landscaping at the corner of Woodward and Brown to create a corner feature and to break up the large expanse of hardscape in this area. Board members also requested that the applicant look at the property to the north and add landscaping features that were comparable to those on the north side of Brown Street adjacent to the Balmoral building.

For the September 11, 2019 Planning Board meeting the applicant revised their plans to add two landscaping features to the site. The first landscape area is an island proposed at the corner of Woodward and Brown, but does not wrap the corner. This island varies between 5' and 9' in width, and runs south along Woodward for approximately 28'. It is not proposed to extend all the way to the driveway opening. **The Planning Board may wish to have the landscaping island elongated to the south, and widened out to the west to better break up the concrete and assist in defining the pedestrian path. The plans state that 3 columnar evergreen trees are proposed in this island, along with tall grasses and perennials. No details have been provided on the plant species proposed, nor the height at time of planting.**

A second landscaped area is also proposed along Brown Street, between the entry drive at the northwest corner and the exit drive for the vehicle detailing area on the northern property line. This area is proposed to extend approximately 51' in length along Brown Street, and vary in width from 7' to 22'. The plans state that 8 columnar evergreen trees are proposed in this island, along with tall grasses, perennials and low shrubs. **No details have been provided on the plant species proposed, nor the height at time of planting. The applicant must provide a landscape plan detailing all species types and sizes proposed.**

Article 4, Section 4.20(G) requires at least one street tree for each 40 ft. of linear frontage. The applicant has roughly 185 linear feet of frontage along Brown Street, and roughly 105 linear feet of frontage along Woodward Avenue. Thus, the applicant is required to provide 5 street trees along Brown and 3 street trees along Woodward for a total of 8 street trees. The applicant has proposed 5 street trees on Brown, and no street trees on Woodward. **The applicant must submit plans showing 5 street trees on Brown and 3 street trees on Woodward for a total of 8 street trees, obtain a variance from the Board of Zoning Appeals, or obtain a waiver from the Staff Arborist.**

The applicant submitted a waiver on July 16, 2019 to the Staff Arborist for the 3 required street trees along the Woodward frontage. The revised plans provided on September 11, 2019 show three columnar evergreens on Woodward, but no species is provided, nor have these been approved to count as street trees by the Department of Public Services. However, the Department of Public Services has approved a waiver of street trees along Woodward Avenue.

- 4.0 Streetscape Elements – As described above, the applicant is proposing to plant 5 street trees along Brown. There are no other streetscape improvements proposed. **The Planning Board may wish to require the applicant to install pedestrian scale street lighting, benches, waste receptacles, or bike racks.**

5.0 **Parking, Loading and Circulation**

5.1 Parking – The proposed development and its commercial use is located in the Downtown Parking Assessment District; thus no parking is required on site for the commercial use. The existing site contains 17 off-street parking spaces in both the front and rear of the building. The proposed site redesign rearranges the parking with 8 traditional parking spaces to be located in the rear, and 6 quasi parking spaces in front at the proposed detailing spaces for a total of 14 off-street parking spaces. The applicant has stated in the application that 9 of the traditional parking spaces will be greater than or equal to the 180 sq. ft. standard, while 1 space will be less than 180 sq. ft.

5.2 Loading – The proposed site changes do not include an increase in square footage to the building, nor a change in use. No changes to loading are proposed.

5.3 Vehicular Circulation and Access – The existing main point of entry for vehicles seeking service is on Brown Street at the west end of the property. There exists an

entrance/exit to a parking facility at the east end of the property at Woodward, and one large exit on Woodward. The applicant is proposing to remove the eastern entry/exit on Brown and relocate it roughly 45 ft. west to be utilized as an exit from the detailing stations in front of the building. Access to the detail stations is proposed via a "U-turn" from the exit of the car wash facility. **At the Planning Board meeting on September 11, 2019, the Planning Board expressed concerns about the applicant's proposed use of the MDOT right-of-way from the Woodward curb back to and including the sidewalk. The applicant is proposing to have vehicles drive in this area, over the sidewalk and in the opposite direction of the southbound Woodward travel lanes that are adjacent to this area. The Planning Board advised the applicant to seek approval for this use from MDOT. The applicant has advised that MDOT stated they are willing to allow this use, if the City of Birmingham is willing to indemnify the State against any and all liability resulting from such use. The applicant has not yet contacted the City Attorney on this matter.**

5.4 Pedestrian Circulation and Access – The applicant is proposing a new entrance to the existing lobby located at the front of the building. No other changes are proposed. At the Planning Board meeting on July 24, 2019, the Planning Board requested that the plans be revised to clearly show the required 5' wide pedestrian walking path (sidewalk) along both Brown and Woodward, to ensure that that it was clear to pedestrians where it was safe to walk. Board members specifically asked for improvements at the corner of Brown and Woodward where the entire area is concrete and it is unclear which portion is for vehicles and which is for pedestrians. The revised plans submitted for the September 11, 2019 Planning Board meeting show the 5' wide pedestrian path. In order to achieve an unobstructed 5' path along Brown, the applicant is proposing to install ADA compliant tree grates. **The plans show a 5' clear path along Woodward, but there is no material change to differentiate the sidewalk from the vehicle zone. Further, the sidewalk is required to be concrete, with a broom finish and the Downtown standard joint pattern along both Woodward and Brown, including through the entry and exit drives. The applicant must provide additional details to clearly distinguish the sidewalk as required.**

6.0 Lighting

The applicant is not proposing any changes to the lighting on the site. The photometric plan submitted is from the existing site plan approval for reference.

7.0 Departmental Reports

7.1 Engineering Division – The Engineering Division previously provided the following comments:

1. **A survey and grading plan will be required showing the removal of a drive approach and the installation of a new drive approached. Due to the lack/limited right-of-way, grading may be a challenge;**
2. **There are several areas where new curbing is proposed. The above-**

mentioned grading plan shall also include the revised parking lot grading.

In addition, the Engineering Division provided the following comments on September 9, 2019:

- 1. The plan has proposed three evergreen trees as well as other landscaping in the right-of-way of Woodward Ave., just south of Brown St. The proposal would result in an unacceptable sight distance hazard for the multiple vehicles that need to exit the JAX car wash facility on a daily basis. The City's code reads that no landscaping obstructions are allowed on private property within a 25 ft. sight triangle extending from a corner when a property is located adjacent to the intersection of two public streets. Evergreen trees are never allowed in the right-of-way for this same reason, as they would serve to obstruct the view of drivers attempting to pull on to the public street. We are also confident that the proposal will not receive approval from the Michigan Dept. of Transportation, due to the same sight distance concerns.**
- 2. The plan has proposed the installation of five new trees in the narrow Brown St. right-of-way in front of the site. There have never been City trees in this area, due to the lack of public right-of-way. The proposal as shown is physically impossible to construct, and will not receive a permit from the Engineering Dept. as shown. Note that when the City's standard tree grates are installed, an additional six inches minimum of concrete must be installed between the street curb and the tree grate to provide concrete in which steel anchors that support the tree grate can be poured. Therefore, the center of the new tree would be 2.5 ft. south of the back of the curb, and it is surrounded by a 12 inch open circle for future tree growth. Even if the design uses the metal tree grate as a part of the walking surface, the City sidewalk would be only 4.7 ft. wide, in violation of City policy. In order to introduce City trees in this area, the applicant should consider providing an easement to the City for sidewalk purposes, thereby allowing reconstruction of the sidewalk in such a way that there is sufficient room both for pedestrians and trees. Another option, since there is no parking on this section of Brown St., would be to remove 2.5 ft. wide sections of concrete immediately behind the curb, to provide room for perennial plants and mulch.**
- 3. While not in conflict with City code, the Engineering Dept. also does not recommend the installation of evergreen trees on private property to the west of the new Brown St. exit driveway. Assuming the driveway will be used frequently during business hours, the trees will serve as a sight distance conflict between the drivers using this exit, as the trees will obscure the view of both pedestrians and bicyclists that may be using the adjacent City sidewalk. Lower growing plants would be more appropriate.**

7.2 Department of Public Services – **The Department of Public Services has approved the waiver request not to plant street trees along the Woodward Avenue frontage.**

7.3 Fire Department – **The Fire Department has no concerns at this time but notes that the proposed new entry door will need egress compliant locking hardware, and handles. Twist, deadbolt locks are not permitted.**

7.4 Police Department – The Police Department has no concerns at this time.

7.5 Building Division – The Building Division will provide comments prior to the meeting on September 11, 2019.

8.0 Design Review

As noted above, the applicant is making minor changes to the building on site, while focusing the majority of proposed changes on the site circulation. The proposed changes to the building include a new entry door to the existing lobby located along the Woodward frontage, and new signage. Site design changes include a new attendant booth, 3 new service canopies, and 6 new vehicle detail stations.

Lobby Entrance – The proposed lobby entrance will replace an existing large window. The door will be a Kawneer 250T Insulpour single clear glass and aluminum metal door with Trifab 451T framing system. The doorframe is proposed to match the building color theme. **At the Planning Board meeting in July, the board requested that the applicant provide a full interior floor plan to assist them in understanding the pedestrian circulation elements within the building and on site. The applicant has not yet provided a floor plan and is required to do so.**

Detail Stations and Service Canopies – The 6 proposed detail stations along Brown Street will consist of 12 vacuum stanchions and a PVC pipe network running below grade, then up the side of the building to a disposal area within the building. The approximately 2 ft. stanchions are proposed to be blue (“Honor Blue”) in color with blue tubing and yellow (“Daisy”) detailing to match the Jax Kar Wash brand. The above-ground PVC vacuum tubing is proposed to be painted brown (“Quartersawn Oak”) to blend with the existing brick as much as possible and grey (“Roycoft Pewter”) to match the existing metal coping.

The 3 proposed service canopies in the rear of the building will consist of an “auto attendant” kiosk, canopy, and barrier gate arm. The applicant is proposing the service canopies to follow the same brand color scheme with blue canopy columns, yellow canopy, and grey kiosks.

Signage – The site currently contains one wall sign, one roof sign, and one pole sign for a total of three existing signs. The proposed signage design plan details one new wall sign, two new name letter signs, the **removal of the existing pole sign**, and no changes to the roof sign, for a total of four signs. The following table outlines the details of the proposed signage:

Sign Content	Sign Type	Dimensions	Illumination
"Jax Kar Wash"	Light Box on Wall	27.5 SF	Reverse Halo Lit Sign Box
"Kar Wash"	Name Letter Sign	24.3 SF	Reverse Halo Lit Channel Letters
"Kar Wash"	Name Letter Sign	32.9 SF	Reverse Halo Lit Channel Letters
"Jax Kar Wash"	Roof Sign (Existing)	63 SF	None

The applicant has not provided any details on the proposed signage materials, lighting, the distance of projection from the building or mounting details, all of which are required to verify compliance with the Sign Ordinance. Based on the information provided, the logo sign on the east elevation would not be permitted as it appears to be a light box sign, which is prohibited. The logo sign also does not appear to have any dimensional letters as required. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals.

In addition to the building signage, the 3 proposed canopies near the attendant booth at the car wash entrance will contain signage as defined by Article 3, Section 3.02 of the Sign Ordinance. The applicant has indicated that the signs may read "Auto Attendant", but the content is not shown or confirmed on the plans, nor are the dimensions provided. **The applicant must submit the canopy signage for approval by the Planning Division prior to installation.** The revised plans submitted for the September 11, 2019 Planning Board meeting indicate that 10" high channel letters are proposed for each of the three canopies. One canopy will read "Fast Lane / No Cash", one will read "Unlimited Club Only" and one will read "Any Form of Payment". The plans state that the total signage area for all three canopy signs will be 17 sq.ft. in total. **However, detailed drawings with dimensions, mounting details etc. have not been provided. In addition, each payment kiosk under the three canopies will have a Jax Kar Wash logo decal. No dimensions have been provided for these signs. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals.**

The Sign Ordinance requires that combined sign area be calculated based on the principal building frontage, which is defined as the width of the building on the side where the primary entrance to the business is located, which may or may not front a street. The Historic District Commission, Design Review Board or Planning Board may designate an alternate horizontal building width as the principal building frontage for signage purposes. The primary entrances are along the Woodward frontage (pedestrian) and along the rear of the building (vehicular). The applicant has requested and has designed signage using the Brown Street horizontal building width as their frontage, in which the applicant is permitted a combined sign area of 1.5 square feet per each linear foot of principal building frontage (135 linear feet). The applicant is proposing 147.7 square feet of building signage where 202.5 square feet is permitted.

However, as noted above, detailed drawings with dimensions, mounting details etc. have not been provided and the canopy and kiosk signage area has not been included in the calculation of total signage. Based on the 202.5 sq.ft. of signage permitted, it appears that the applicant will have less signage than the maximum permitted total. The applicant will be required to provide all signage details to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals.

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- 1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- 2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- 3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- 4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- 5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- 6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

There continue to be many outstanding issues with regards to the proposed Final Site Plan and thus the Planning Division recommends that the Planning Board **POSTPONE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – pending receipt of revised plans including the following:

1. Screening of the parking area and vacuum detailing area along Brown Street and the parking area along Woodward in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. All landscaping details, including species and size of plant material proposed to determine if all ordinance requirements have been met;

3. A clearly distinguished 5' wide (minimum) pedestrian sidewalk along the entire Woodward and Brown frontage through material changes, landscaping definition or other means and a floor plan of the interior of the building;
4. All signage details for the building, canopy and kiosk signage to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
5. The applicant submit material samples to complete the design review;
6. The applicant comply with the requests of all City departments; and
7. The applicant obtain approval of the City Commission for the use and indemnification of MDOT against liability for the proposed use of the MDOT right-of-way.

OR

Based on a review of the site plan submitted on September 11, 2019, with no changes proposed to meet the screening requirements and other outstanding issues, the Planning Board **DENY** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash.

11.0 Sample Motion Language

Motion to **POSTPONE** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – pending receipt of revised plans including the following:

1. Screening of the parking area and vacuum detailing area along Brown Street and the parking area along Woodward in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. All landscaping details, including species and size of plant material proposed to determine if all ordinance requirements have been met;
3. A clearly distinguished 5' wide (minimum) pedestrian sidewalk along the entire Woodward and Brown frontage through material changes, landscaping definition or other means and a floor plan of the interior of the building;
4. All signage details for the building, canopy and kiosk signage to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
5. The applicant submit material samples to complete the design review;
6. The applicant comply with the requests of all City departments; and
7. The applicant obtain approval of the City Commission for the use and indemnification of MDOT against liability for the proposed use of the MDOT right-of-way.

OR

Motion to **DENY** the Final Site Plan and Design Review for 34745 Woodward – Jax Kar Wash – for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to **APPROVE** the Final Site Plan and Design Review for 34745 Woodward - Jax Kar Wash – pending receipt of revised plans including the following:

1. Screening of the parking area and vacuum detailing area along Brown Street and the parking area along Woodward in accordance with Section 4.54 of the Zoning Ordinance, or obtain a variance from the Board of Zoning Appeals;
2. All landscaping details, including species and size of plant material proposed to determine if all ordinance requirements have been met;
3. A clearly distinguished 5' wide (minimum) pedestrian sidewalk along the entire Woodward and Brown frontage through material changes, landscaping definition or other means;
4. All signage details for the building, canopy and kiosk signage to demonstrate compliance with all requirements of the Sign Ordinance or obtain a variance from the Board of Zoning Appeals;
5. The applicant submit material samples to complete the design review;
6. The applicant comply with the requests of all City departments; and
7. The applicant obtain approval of the City Commission for the use and indemnification of MDOT against liability for the proposed use of the MDOT right-of-way.

Planning Board Minutes
July 24, 2019

G. Final Site Plan & Design Review

1. 34745 Woodward, Jax Kar Wash – Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site.

City Planner Dupuis presented the item.

Brian Lawson, architect for the project, and Greg Roselli, site manager for Jax Kar Wash, walked the Planning Board through the plans.

Mr. Lawson noted that an accessible parking space was inappropriately represented as being next to the detailing station, and confirmed the space would actually be located elsewhere on the site.

Mr. Roselli explained that the vacuuming will be moved to the north part of the site. The aim of this change is to reduce the site's traffic burden on Brown Street and to allow vehicles to be processed more expediently. Mr. Roselli estimated that customers seek exterior-only services at the site between sixty and seventy percent of the time. He confirmed that the vast majority of customers would be getting a car wash without detailing and exiting onto Woodward subsequently. If customers purchase detailing, attendants will be driving vehicles to the vacuums and vacuuming the vehicles as part of that service. Customers will not be driving their vehicles to the vacuums or accessing the vacuums on their own.

Mr. Koseck asked about efforts towards visual improvement of the site as part of these updates. Mr. Koseck said he was concerned the site will be less aesthetically pleasing than it currently is if the proposed changes are instituted. Acknowledging the aesthetic limitations of the type of work and the site, Mr. Koseck noted that the City even has requirements for gas station exteriors and this project should be given similar consideration.

Mr. Lawson replied that the site may install the requisite screen wall at the corner of Woodward and Brown, and that a landscape element could also be considered for that corner.

Mr. Williams suggested potentially planting trees at the corner of Woodward and Brown, which he stated the Board had also recommended as an option for the site during a previous review.

Mr. Jeffares observed that vegetation could be used for the screen wall, which would have the additional benefit of providing visual improvement of the site.

Planning Director Ecker confirmed that would be an acceptable option as long as the vegetation is evergreen.

Chairman Clein said he liked the tree proposed on the south side of the site and liked the removal of the parking along Brown. He emphasized that he wants to support Jax, understood the challenges of the site, and would like to see the business do well. Chairman Clein also stated:

- The attended vacuums will likely encroach on the pedestrian space along Woodward and that vehicles currently routinely drive over the public sidewalk as part of Jax operations.
- That if this were a new project, he would not vote to approve the plans.
- He loved the idea of using vegetation for a screen wall, but said it would not work as the plans are currently laid out.
- If the Board were to approve using vegetation for a screen wall that would have to be included clearly as part of the plans.

Mr. Williams said he was in favor of making the screen wall on the north side of the site out of vegetation. He said landscaping should also be added to the Woodward side of the site, stating that if the entirety of the business' Woodward frontage cannot be landscaped then at least the corner of Woodward and Brown should be. He emphasized that any efforts towards adding vegetation to the site would be an improvement.

Chairman Clein asked if all six detailing stations were necessary.

Mr. Lawson confirmed he had been told they were due to detailing volume.

Ms. Whipple-Boyce noted that four detailing stations could be nested along the north side of the building which would allow for a landscape screen wall. She stated that the landscaping outside of 525 E. Brown was beautifully done, and recommended the project aim to recreate something similar on its own corner. Ms. Whipple-Boyce explained that the visual effect of the proposed plans would be hard to endorse, and that making an adjustment to four detailing stations and adding more landscaping could resolve the issue.

Mr. Williams concurred with Ms. Whipple-Boyce. He said the Board seemed to agree that no more cement or brick walls should be added to the site.

Planning Director Ecker also noted the Board's emphasis on adding vegetation to the site's Woodward and Brown corner.

Mr. Lawson expressed enthusiasm for the idea. He asked if it would be possible for the evergreen landscaping to take the place of street trees.

Planning Director Ecker said the evergreen landscaping could not replace street trees, but could be done in addition.

Chairman Clein invited comment from the public.

Sam Volk, 736 Brookside, said he was an engineer and that the north side of the site seemed to have substantial issues. He said the proposed configuration of the vacuum stations would only allow vehicles to move in threes, which would increase the congestion of the site instead of decreasing it. He said vacuuming the vehicles at four stations along the building allows vehicles to leave individually once they were complete, instead of having to wait.

Ms. Whipple-Boyce stated that two different members of the Board had noted that issue.

Mr. Volk reiterated his concerns.

The Board concurred on giving the project a few weeks to consider or integrate the Board's comments, including the following:

- Defining the site will help the business, and will make the space more attractive.
- The Board must receive a floor plan for the site, a plan that lays out the vegetation screen wall, and a plan delineating the pedestrian traffic flow around the site.
- The traffic flow into and out of the vacuum stations should be reviewed in light of the concerns and feedback provided.
- Jax Kar Wash employees often use benches across Brown during their breaks, and it might be a good improvement if Jax also provided benches for its employees to use.

Motion by Mr. Boyle

Seconded by Mr. Jeffares to postpone the item regarding Jax Kar Wash until the Planning Board's next regular meeting on August 14, 2019.

Motion carried, 7-0.

VOICE VOTE

Yeas: Boyle, Jeffares, Williams, Whipple-Boyce, Clein, Koseck, Ramin

Nays: None

**Planning Board Minutes
August 14, 2019**

Motion by Mr. Williams

Seconded by Mr. Jeffares to postpone the Final Site Plan and Design Review for 34745 Woodward, Jax Kar Wash to September 11, 2019 and to suspend the Rules of Procedure to hear said review during a Planning Board study session.

Motion carried, 7-0.

VOICE VOTE

Yeas: Williams, Jeffares, Whipple-Boyce, Boyle, Clein, Emerine, Share

Nays: None

**Planning Board Minutes
September 11, 2019**

E. Old Business

- 1. Final Site Plan & Design Review - 34745 Woodward, Jax Kar Wash –**
Request for Final Site Plan and Design Review to add a covered detailing area and reconfigure access and circulation for the site (Postponed from August 14, 2019).

Planning Director Ecker presented the item.

Motion by Mr. Williams

Seconded by Mr. Share to receive and file the memorandum from City Engineer O'Meara dated September 9, 2019.

Motion carried, 7-0.

VOICE VOTE

Yeas: Williams, Share, Koseck, Jeffares, Whipple-Boyce, Clein, Emerine

Nays: None

Chairman Clein noted the plans submitted neither complied with ordinance nor sufficiently integrated the Board's August 14, 2019 feedback. He invited the applicant to comment briefly while stating he would vote against plan approval this evening due to the ordinance issues.

Jason Mylan, co-owner of Jax, said the submitted plans are the closest Jax can get to complying with the ordinance. He said there was not enough width on the Brown Street side of the lot to provide both a screening wall and an exit lane for vehicles. He said the plans represented a more functional, more aesthetically pleasing design to the lot. He also said he was open to providing whatever trees the City recommends for the lot.

Chairman Clein replied that the Board is not empowered to approve plans that do not comply with the ordinance. He said that if a business function does not meet ordinance it is either incumbent on the business to modify that function or to apply for a variance from the Board of Zoning Appeals.

In reply to a question from Chairman Clein, Mr. Mylan stated he had not spoken with MDOT about driving vehicles contraflow on Woodward Avenue in MDOT's right-of-way.

Noting that there was little to be gained from further discussion of these plans this evening, Chairman Clein recommended ending the discussion with advice to the applicant to comply with ordinance.

Mr. Koseck said he was concerned with the increase in on-site activity that these plans would represent. He said he did not anticipate that a screening wall could sufficiently obscure the increased activity, and that it may be appropriate for the applicant to consider expanding the footprint of the building in order to conduct more of the activity within the building and out of view of the street. He said that Mr. Mylan may be trying to do **too** much on the site.

In reply to Ms. Whipple-Boyce, Mr. Mylan said the attendants would never be in the driver's seat of the cars.

Ms. Whipple-Boyce said she was under the impression that attendants would be driving the cars on the lot.

Chairman Clein agreed with Ms. Whipple-Boyce, recalling the Board had been told attendants would primarily be driving the cars on the lot at the August 14, 2019 meeting. He noted other Board members looked to be recalling the same thing. He then emphasized his concerns about the applicant's proposal that the general public drive contraflow on Woodward Avenue in MDOT's right-of-way, and said the plans would not garner his vote until that was changed.

Mr. Mylan noted that the business currently drives vehicles contraflow on Woodward Avenue.

Chairman Clein said he was aware, noting that the proposed plans seek to have the general public driving contraflow on Woodward, as opposed to Jax employees. He then invited public comment.

In reply to Andrew Haigh, Planning Director Ecker indicated where the current curb cuts are allowing vehicles to enter and exit the lot.

Chairman Clein invited any further comments from the Board.

Mr. Williams stated that Jax is an important business in Birmingham, and so the matter should be postponed instead of denied. He recommended postponing the matter until the next regularly scheduled Board meeting that would include site plan reviews.

Motion by Mr. Williams

Seconded by Mr. Koseck to postpone consideration of 34745 Woodward, Jax Kar Wash to October 23, 2019.

Mr. Jeffares asked if that date would give the applicant enough time to get approval from MDOT for the Woodward right-of-way matter.

Chairman Clein replied that it was a month and a half, and that if it needed to be postponed further then that could be done. He explained it was best to postpone to a date certain to avoid having to re-notice the item while ensuring that the public knows when the item will next be discussed.

Mr. Share said he would support the motion if the Planning Department, Engineering Department, and applicant all agree to meet in order to discuss potential solutions to the issues raised at both this meeting and the August 14~~11~~, 2019 meeting.

Planning Director Ecker confirmed both departments would be available to meet with the applicant.

In reply to Mr. Mylan, Mr. Williams stated he would like to see compliance with the ordinance. He also said Mr. Mylan should contact MDOT to discuss the contraflow issue raised.

Chairman Clein said Mr. Mylan should meet with City Staff and make a concerted effort towards integrating their feedback.

Motion carried, 7-0.

VOICE VOTE

Yeas: Share, Koseck, Jeffares, Whipple-Boyce, Williams, Clein, Emerine

Nays: None

**Zoning Compliance Summary Sheet
Final Site Plan Review
34745 Woodward – Jax Kar Wash**

Existing Site: 1-Story Commercial Building – Jax Kar Wash

Zoning: B-2 (General Business) & D-4 (Downtown Overlay)

Land Use: Commercial

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Commercial/ Office	Mixed Use	Commercial	Commercial/ Office
Existing Zoning District	B-4, Business - Residential	B-3, Office - Residential	O-2, Office/ Commercial	B-2, General Business
Overlay Zoning District	D-4	D-4	MU-5	D-3

Land Area:	Existing:	0.59 ac.
	Proposed:	0.59 ac. (no changes proposed)
Dwelling Units:	Existing:	0
	Proposed:	0
Minimum Lot Area/Unit:	Required:	1,000 sq. ft. (single story hotel or motel) 500 sq. ft. (two/three story hotel or motel) 1,280 sq. ft. (multiple family)
	Proposed:	0 sq. ft. (no units proposed)
Min. Floor Area /Unit:	Required:	300 sq. ft. (single story hotel or motel) 600 sq. ft. (efficiency and one bedroom) 800 sq. ft. (two or more bedroom)
	Proposed:	0 sq. ft. (no units proposed)

Max. Total Floor Area:	Required:	100%
	Proposed:	26% (no changes proposed)
Min. Open Space:	Required:	N/A
	Proposed:	N/A
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Side Setbacks	Required:	Not Required
	Proposed:	≈ 25 ft. & 5 ft. (no changes proposed)
Rear Setback:	Required:	Equal to adjacent, preexisting building
	Proposed:	≈ 37 ft. (no changes proposed)
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	80 ft., four or five stories
	Proposed:	≈ 16 ft. (no changes proposed)
Min. Eave Height:	Required:	20 ft.
	Proposed:	≈ 14 ft. (no changes proposed)
Floor-Ceiling Height:	Required:	N/A
	Proposed:	N/A
Front Entry:	Required:	N/A
	Proposed:	N/A
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	N/A (Parking Assessment District)
	Proposed:	10 traditional spaces 6 detailing spaces
Min. Parking Space Size:	Required:	180 sq. ft.
	Proposed:	10 ≥ 180 sq. ft.

Parking in Frontage: Required: N/A
Proposed: N/A

Loading Area: Required: 0
Proposed: 0

Screening:

Parking: Required: Required along the front & side
Proposed: No screening proposed (**The applicant must submit plans showing parking lot screening along the front and side of the parking facility, or obtain a variance from the Board of Zoning Appeals**)

Loading: Required: N/A
Proposed: N/A

Rooftop Mechanical: Required: Fully screened from public view
Proposed: **No changes proposed**

Elect. Transformer: Required: Fully screened from public view
Proposed: N/A (**no transformers existing or proposed**)

Dumpster: Required: Masonry screenwall with wood gates
Proposed: Wood fence screening (**no changes proposed**)



MEMORANDUM

Engineering Dept.

DATE: September 9, 2019
TO: Jana Ecker, Planning Director
FROM: Paul T. O'Meara, City Engineer
SUBJECT: JAX Car Wash Renovations
34745 Woodward Ave.

The Engineering Dept. has reviewed the revised site plan dated August 28, 2019. The following comments are provided at this time:

1. The plan has proposed three evergreen trees as well as other landscaping in the right-of-way of Woodward Ave., just south of Brown St. The proposal would result in an unacceptable sight distance hazard for the multiple vehicles that need to exit the JAX car wash facility on a daily basis. The City's code reads that no landscaping obstructions are allowed on private property within a 25 ft. sight triangle extending from a corner when a property is located adjacent to the intersection of two public streets. Evergreen trees are never allowed in the right-of-way for this same reason, as they would serve to obstruct the view of drivers attempting to pull on to public street. We are also confident that the proposal will not receive approval from the Michigan Dept. of Transportation, due to the same sight distance concerns.
2. The plan has proposed the installation of five new trees in the narrow Brown St. right-of-way in front of the site. There have never been City trees in this area, due to the lack of public right-of-way. The proposal as shown is physically impossible to construct, and will not receive a permit from the Engineering Dept. as shown. Note that when the City's standard tree grates are installed, an additional six inches minimum of concrete must be installed between the street curb and the tree grate to provide concrete in which steel anchors that support the tree grate can be poured. Therefore, the center of the new tree would be 2.5 ft. south of the back of the curb, and it is surrounded by a 12 inch open circle for future tree growth. Even if the design uses the metal tree grate as a part of the walking surface, the City sidewalk would be only 4.7 ft. wide, in violation of City policy. In order to introduce City trees in this area, the applicant should consider providing an easement to the City for sidewalk purposes, thereby allowing reconstruction of the sidewalk in such a way that there is sufficient room both for pedestrians and trees. Another option, since there is no parking on this section of Brown St., would be to remove 2.5 ft. wide sections of concrete immediately behind the curb, to provide room for perennial plants and mulch.
3. While not in conflict with City code, the Engineering Dept. also does not recommend the installation of evergreen trees on private property to the west of the new Brown St. exit driveway. Assuming the driveway will be used frequently during business hours, the trees will serve as a sight distance conflict between the drivers using this exit, as the trees will obscure the view of both pedestrians and bicyclists that may be using the adjacent City sidewalk. Lower growing plants would be more appropriate.

RE: 2018-052, Jax Kar Wash, Birmingham_ Site Landscape Plan

1 message

Jason Milen - Jax Kar Wash <jason@jaxkarwash.net>

To: Jana Ecker <Jecker@bhamgov.org>

Cc: Brian Lawson <blawson@jhn.com>, Bradley Scobel <BScobel@seyburn.com>

Fri, Oct 11, 2019 at 3:38 PM

Hi Jana,

We've tried, and cannot find any other way to make the plan work and maintain the escape lane. Therefore, we would like to stay on the agenda for the next meeting, and let it go to a vote. I understand it will likely be denied, then we'll ask to go to the ZBA and hope that they will see that this will solve the problem of the traffic backing up onto Brown Street at the entrance, and that with the proposed plan, we're 75% the way there to meet the landscaping/screening requirements due to the sections on the east and west we've drawn -- that it will be so much better than it is now!

As for the MDOT issue, we have from them:

"If the City of Birmingham is OK with accepting any and liability associated with cars driving/turning on their sidewalk then MDOT is OK with it."

Our attorney, Brad Scobel will contact the city attorney to try to work this out, as we are insured and would be willing to offer Birmingham indemnity in the event of any liability.

From: Gough, Stacey (MDOT) [<mailto:goughs@michigan.gov>]

Sent: Tuesday, October 8, 2019 9:41 AM

To: Bradley Scobel <BScobel@seyburn.com>

Cc: Gough, Stacey (MDOT) <goughs@michigan.gov>; Ibrahim, Faisal (MDOT) <lbrahimF1@michigan.gov>; Roeder, Fredrick (MDOT) <RoederF@michigan.gov>

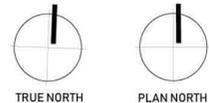
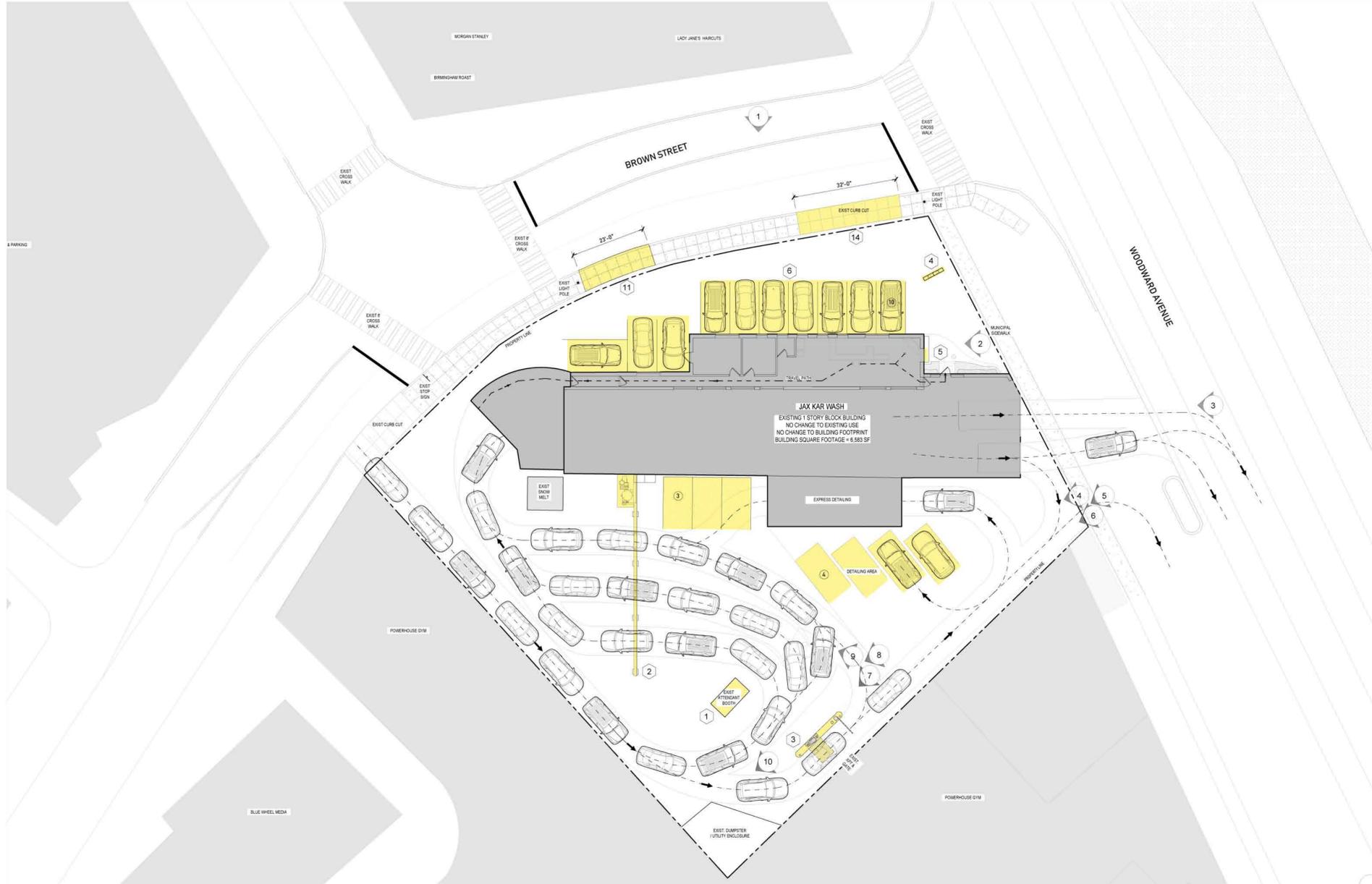
Subject: RE: Jax Kar Wash - Woodward, Birmingham

Bradley,

If the City of Birmingham is OK with accepting any and liability associated with cars driving/turning on their sidewalk then MDOT is OK with it.

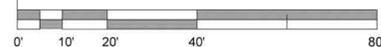
Thanks,
Stacey

Stacey Gough
MDOT Oakland TSD
Utility & Permits Engineer
800 Vanguard Drive
Pontiac, MI 48341
248-451-2453 (office)
248-895-2558 (cell)



1
AS100

EXISTING ARCHITECTURAL SITE PLAN



SCALE: 1"=20'-0"



1 4 6



2 4 5



3 5



4



5



6



7 3



8 1



9 2



10

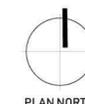
EXISTING SITE - PHOTOS

SCALE: NTS

1. NAME & ADDRESS OF APPLICANT AND PROOF OF OWNERSHIP:
JASON MILEN
JAX KAR WASH
34745 WOODWARD AVENUE,
BIRMINGHAM, MI 48009
 2. NAME OF DEVELOPMENT:
JAX KAR WASH
 3. ADDRESS OF SITE AND LEGAL DESCRIPTION OF THE REAL ESTATE:
34745 WOODWARD AVENUE
- LEGAL DESCRIPTION:**
LAND IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:
THE EASTERLY PART OF LOT 4 MEASURING 12.4 FEET ON THE NORTH LINE AND 18.23 FEET ON
THE SOUTH LINE, ALL OF LOTS 5 THROUGH 7 EXCEPT THAT PART TAKEN FOR ROAD PURPOSES,
"WILLIAM HART SUBDIVISION," AS RECORDED IN LIBER 9 OF PLATS, PAGE 9 OF THE OAKLAND
COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE
SOUTHEAST CORNER OF SAID LOT 7; THENCE S54d 24' 24" W 154.83 FEET; THENCE N33d 26' 35" W
166.95 FEET, TO A POINT ON THE SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST
AVENUE); THENCE ALONG SAID SOUTHERLY LINE OF BROWN STREET (FORMERLY FOREST
AVENUE), N54d 40'00"E 57.34 FEET AND 79.81 FEET ALONG THE ARC OF CURVE TO THE RIGHT
RADIUS 129.52 FEET, CENTRAL ANGLE 35d 18' 14" CHORD BEAR N76d 48' 13"E 78.85 FEET AND N88d
34'36"E 60.31 FEET TO A POINT ON THE WESTERLY LINE OF WOODWARD AVENUE (FORMERLY
HUNTER BOULEVARD); THENCE ALONG SAID LINE S18d 39' 22"E 107.43 FEET TO THE POINT OF
BEGINNING.
4. LEGEND AND NOTES, INCLUDING A GRAPHIC SCALE, NORTH POINT AND DATE:
REFER TO ELEVATIONS & SITE PLANS INCLUDING THE ABOVE ELEMENTS.
 5. A SEPARATE LOCATION MAP:
REFER TO LOCATION MAP, BELOW
 6. A LIST OF ALL REQUESTED ELEMENTS / CHANGES TO THE SITE PLAN.
LIST APPLIES TO SHEETS AS100 & AS101
1. RELOCATION OF AN EXISTING ATTENDANT BOOTH, SOUTH SIDE OF BUILDING.
 2. DEMOLITION OF OVERHEAD VACUUM TUBES, STEEL STRUCTURE, VACUUMS, EQUIPMENT AND ASSOCIATED SIGNS, SOUTH SIDE OF BUILDING.
 3. DEMOLITION OF (1) EXISTING XPT AND CANOPY ON A RAISED CONCRETE ISLAND, SOUTH SIDE OF BUILDING, VERIFY CONDITION OF EQUIPMENT FOR POTENTIAL RE-USE.
 4. DEMOLITION OF EXISTING PYLON SIGN IN ITS ENTIRETY.
 5. DEMOLITION OF A PORTION OF THE EAST WALL OF EXIST. LOBBY FOR PROPOSED NEW ENTRY.
 6. PROPOSED RELOCATION OF (10) PARKING SPACES FROM THE NORTH TO SOUTH SIDE OF BUILDING.
 7. PROPOSED RELOCATION OF DETAILING SPACES TO NORTH SIDE OF BUILDING.
 8. PROPOSING (3) XPTS AND CANOPIES ON 6" RAISED CONCRETE ISLANDS, SOUTH SIDE OF BUILDING.
 9. PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
 10. PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED PVC PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
 11. PROPOSING NEW 23' CURB CUT FROM THE PROPERTY ONTO BROWN STREET.
 12. PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
 13. PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
 14. PROPOSED CLOSING OF THE EXISTING CURB CUT AT THE NORTHEAST CORNER OF SITE.
 15. PROPOSED LANDSCAPING AREA TOTALING 389 SF, REFER TO LANDSCAPE DRAWINGS
7. ANY CHANGES REQUESTED MARKED IN COLOR:
REFER TO 'PURPLE' AND 'YELLOW' COLORED AREAS ON PLANS AND ELEVATIONS. ALL CHANGES MARKED IN COLOR ARE KEYED TO THE LIST ABOVE.
 8. GENERAL DESCRIPTION, LOCATION AND TYPES OF STRUCTURES ON THE SITE:
EXISTING 1 STORY BLOCK BUILDING, 6,583 SQUARE FEET
EXISTING WOOD PICKET UTILITY/ DUMPSTER ENCLOSURE, APPROX. 316 SQUARE FEET
EXISTING SNOW MELT STRUCTURE, APPROX. 112 SQUARE FEET
EXISTING ATTENDANT BOOTH, APPROX. 65 SQUARE FEET
 9. DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE, AND OTHER PERTINENT DEVELOPMENT FEATURES
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200
 10. A LANDSCAPE PLAN SHOWING ALL EXISTING AND PROPOSED PLANTING AND SCREENING MATERIALS, INCLUDING THE NUMBER, SIZE AND TYPE OF PLANTINGS PROPOSED
LIMITED EXISTING LANDSCAPING, SHRUBS ON NORTH SIDE NEAR LOBBY ENTRY. PROPOSED LANDSCAPING AT 395 SF CIRCULAR BED. REFER TO LANDSCAPE DRAWINGS.
 11. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT

SYMBOL LEGEND			
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE

SITE LOCATION



LOCATION MAP

SCALE: NTS

NUDELL ARCHITECTS

MICHIGAN
31690 W. Twelve Mile Road
Farmington Hills, Michigan 48334
t 248 324 8800 f 248 324 0661

FLORIDA
1807 Edgewater Drive
Orlando, Florida 32804
t 407 930 2526

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project title

JAX KAR WASH

PREVIOUS APPROVALS CHART

BOARD/COMMISSION	DATE

34745 WOODWARD AVE,
CITY OF BIRMINGHAM, MI 48009

sheet title

EXISTING ARCHITECTURAL SITE PLAN

DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

project number

2018-052

drawn	BDL
checked	BDL
approved	JHN
issued for	date
OWNER REVIEW	6/7/19
SPA - PRELIMINARY	7/3/19
SPA - PRELIM REVISED	7/16/19
SPA - SECOND SUBMIT	8/28/19

sheet

AS100



1. NAME & ADDRESS OF APPLICANT AND PROOF OF OWNERSHIP:
 JASON MILNE
 JAX KAR WASH
 34745 WOODWARD AVENUE,
 BIRMINGHAM, MI 48009

2. NAME OF DEVELOPMENT:
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4. LEGEND AND NOTES, INCLUDING A GRAPHIC SCALE, NORTH POINT AND DATE:
 REFER TO ELEVATIONS & SITE PLANS INCLUDING THE ABOVE ELEMENTS.

5. A SEPARATE LOCATION MAP:
 REFER TO LOCATION MAP, BELOW

6. A LIST OF ALL REQUESTED ELEMENTS / CHANGES TO THE SITE PLAN.
 LIST APPLIES TO SHEETS AS100 & AS101

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- DEMOLITION OF EXISTING PYLON SIGN IN ITS ENTIRETY.
- DEMOLITION OF A PORTION OF THE EAST WALL OF EXIST. LOBBY FOR PROPOSED NEW ENTRY.
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- PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
- PROPOSED CLOSING OF THE EXISTING CURB CUT AT THE NORTHEAST CORNER OF SITE.
- PROPOSED LANDSCAPING AREAS

7. ANY CHANGES REQUESTED MARKED IN COLOR:
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 EXISTING SNOW MELT STRUCTURE, APPROX. 112 SQUARE FEET
 EXISTING ATTENDANT BOOTH, APPROX. 66 SQUARE FEET

9. DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE, AND OTHER PERTINENT DEVELOPMENT FEATURES
 EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.
 SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200

10. A LANDSCAPE PLAN SHOWING ALL EXISTING AND PROPOSED PLANTING AND SCREENING MATERIALS, INCLUDING THE NUMBER, SIZE AND TYPE OF PLANTINGS PROPOSED
 LIMITED EXISTING LANDSCAPING, SHRUBS ON NORTH SIDE NEAR LOBBY ENTRY. PROPOSED LANDSCAPING AT 398 SF CIRCULAR BED. REFER TO LANDSCAPE DRAWINGS.

11. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT

4N
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 Farmington Hills, Michigan 48334
 t 248 324 8800 f 248 324 0661
 FLORIDA
 1807 Edgewater Drive
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project title
JAX KAR WASH

PREVIOUS APPROVALS CHART

BOARD/COMMISSION	DATE

34745 WOODWARD AVE,
 CITY OF BIRMINGHAM, MI 48009

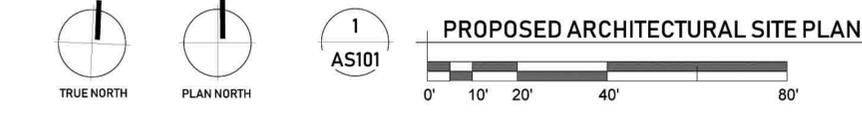
sheet title
PROPOSED ARCHITECTURAL SITE PLAN
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project number
2018-052

drawn BDL
 checked BDL
 approved JHN

issued for date
 OWNER REVIEW 6/7/19
 SPA - PRELIMINARY 7/3/19
 LANDSCAPE COORDINATION 7/9/19
 SPA - PRELIM REVISED 7/16/19
 SPA - SECOND SUBMIT 8/28/19

sheet



SIGN CALCULATIONS (ABOVE XPT CANOPIES, SOUTH OF BUILDING)

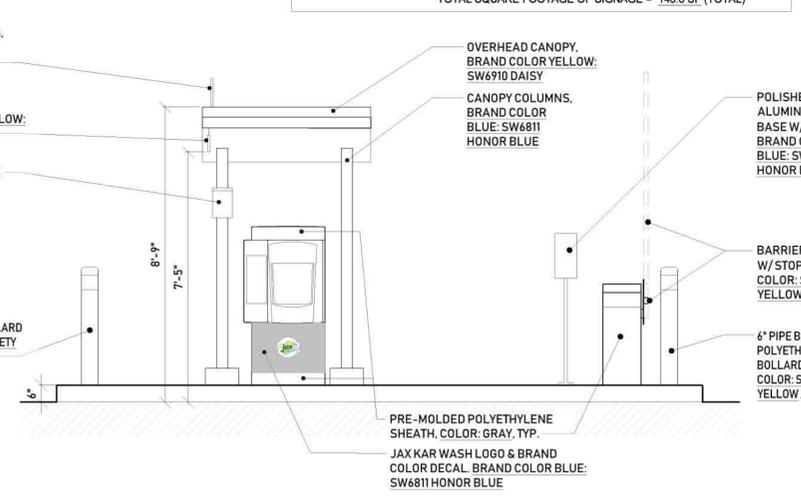
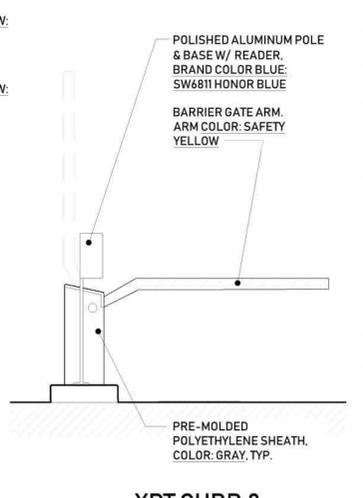
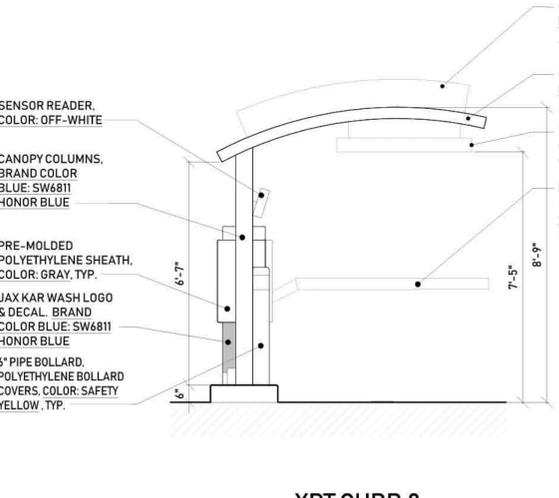
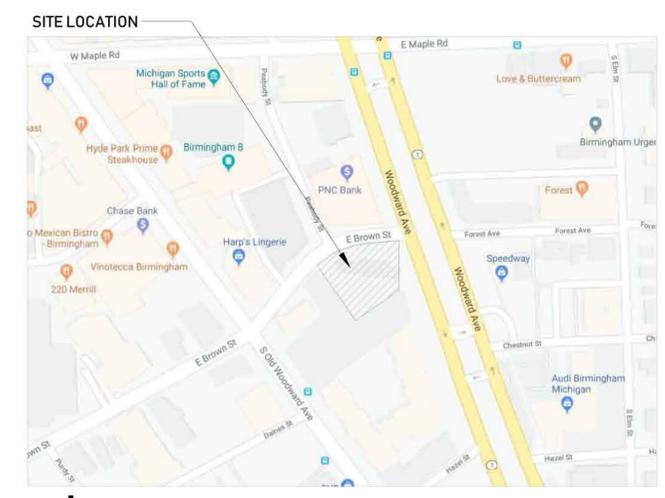
10" CANOPY CHANNEL LETTERS READING 'FAST LANE/ NO CASH'	= 5.38 SF (PROPOSED)
10" CANOPY CHANNEL LETTERS READING 'UNLIMITED CLUB ONLY'	= 5.67 SF (PROPOSED)
10" CANOPY CHANNEL LETTERS READING 'ANY FORM OF PAYMENT'	= 5.95 SF (PROPOSED)
TOTAL SQUARE FOOTAGE OF PROPOSED XPT CANOPY SIGNAGE =	17 SF (TOTAL)

SIGN CALCULATIONS (ALL SIGNS)

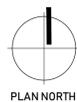
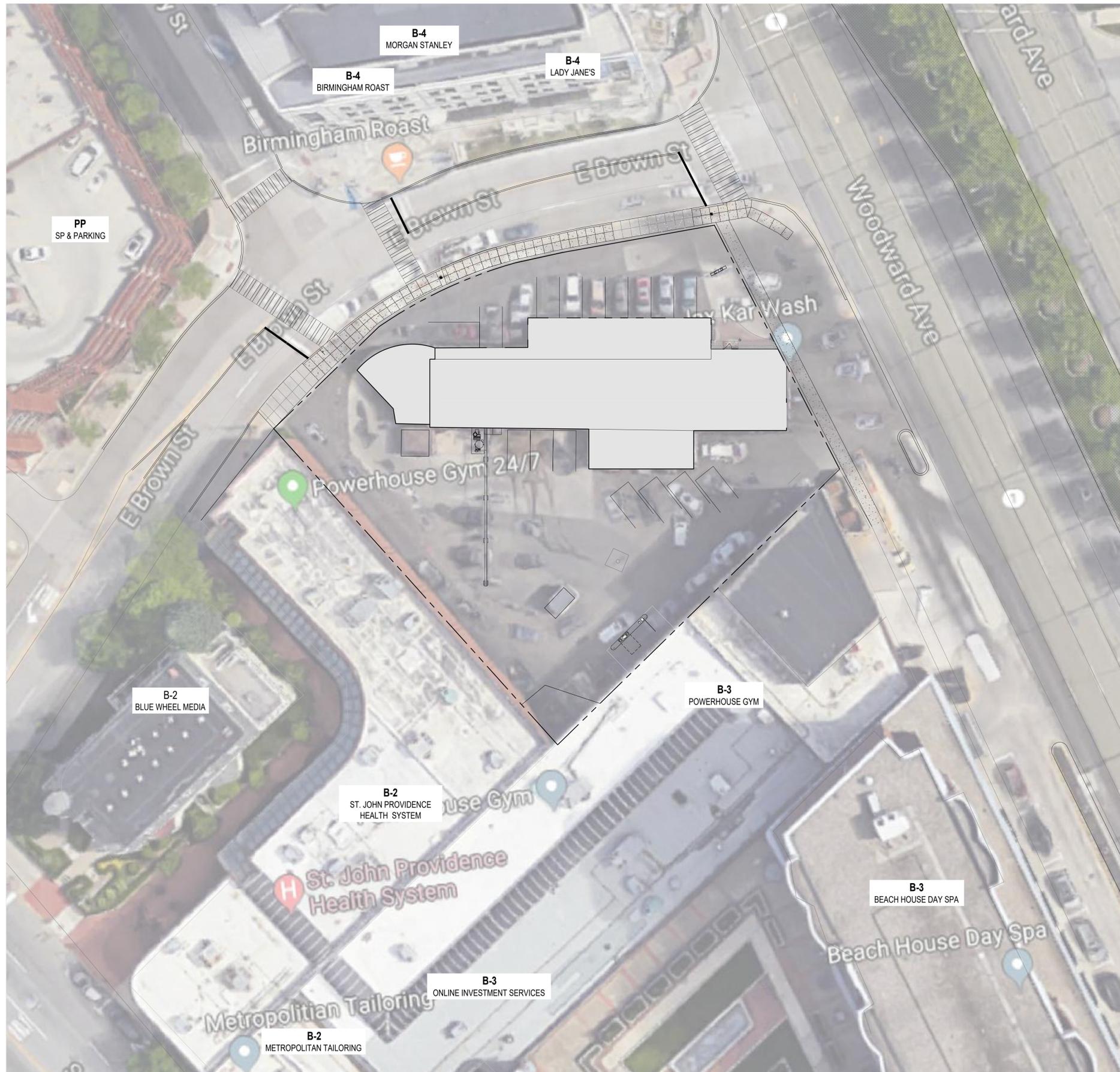
(1.5) x LINEAL FEET OF PRIMARY FRONTAGE (BROWN ST.) = 134'-11" =	202.4 SF (AVAILABLE)
TOTAL SQUARE FOOTAGE OF PROPOSED XPT CANOPY SIGNAGE =	17 SF (TOTAL)
BROWN ST. FACADE / NORTH ELEVATION =	87.3 SF (TOTAL)
WOODWARD AVE. FACADE / EAST ELEVATION =	42.3 SF (TOTAL)
TOTAL SQUARE FOOTAGE OF SIGNAGE =	146.6 SF (TOTAL)

SYMBOL LEGEND

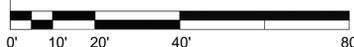
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE



AS101



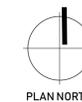
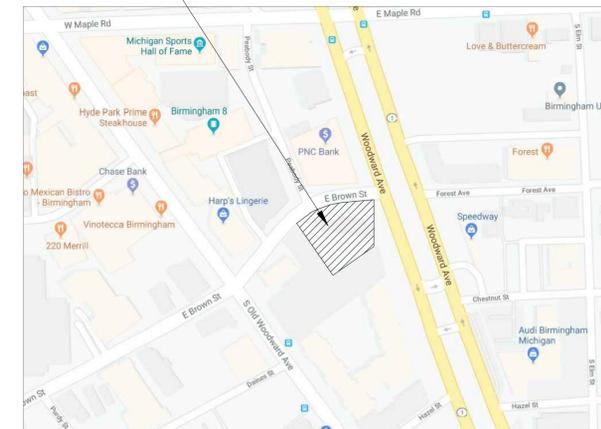
AERIAL PHOTOGRAPH OF SITE & ADJACENT PROPERTIES



SCALE: 1"=20'-0"

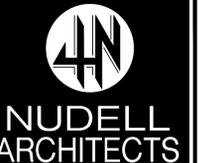
SYMBOL LEGEND			
	IDENTIFIES ELEVATIONS, REFER TO SHEETS A200 & A201		IDENTIFIES NUMBER OF PARKING & DETAILING SPACES
	IDENTIFIES REQUESTED ELEMENTS/ CHANGES TO THE SITE PLAN. REFER TO WRITE UP #6, THIS SHEET.		INDICATES LOCATION / DIRECTION OF PICTURE

SITE LOCATION



LOCATION MAP

SCALE: NTS



MICHIGAN
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 Farmington Hills, Michigan 48334
 t 248 324 8800 f 248 324 0661

FLORIDA
 1807 Edgewater Drive
 Orlando, Florida 32804
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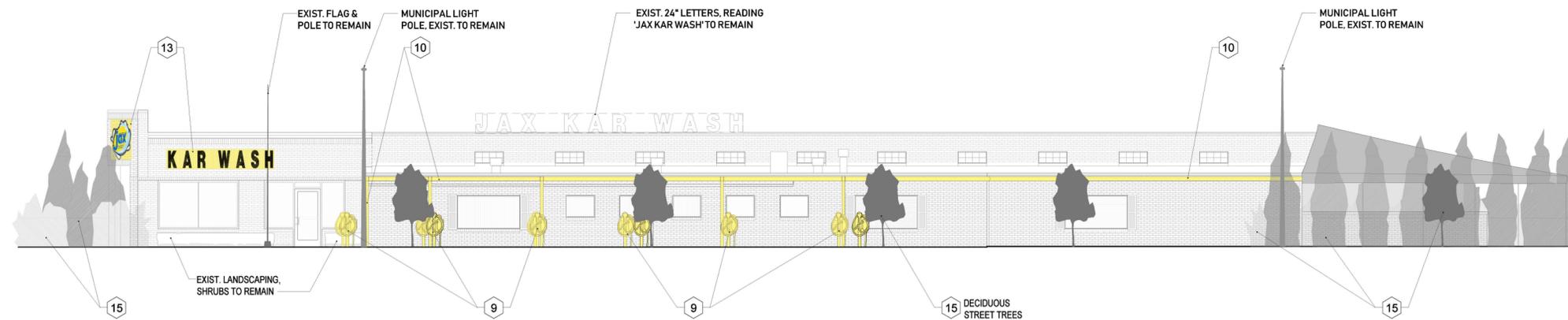
sheet

AS102



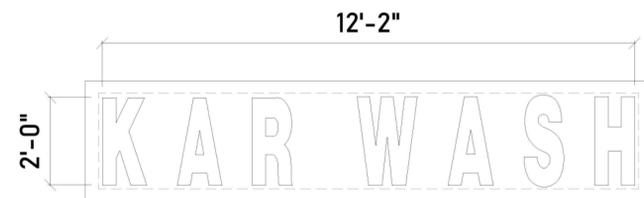
1
A200
PROPOSED COLOR NORTH ELEVATION (BROWN ST.)

SCALE: 1/8"=1'-0"



2
A200
PROPOSED NORTH ELEVATION (BROWN ST.)

SCALE: 1/8"=1'-0"



3
A200
REVERSE HALO LIT CHANNEL LETTERS
SCALE: N.T.S.

SIGN CALCULATIONS (BROWN ST. FACADE / NORTH ELEVATION)	
(1.0) x LINEAL FEET OF FRONTAGE = 134'-11 1/2" =	134.94 SF (AVAILABLE)
24" ROOFTOP LETTERS READING 'JAX KAR WASH' =	63 SF (EXISTING)
24" REVERSE HALO LIT CHANNEL LETTERS READING 'KAR WASH' =	24.3 SF (PROPOSED)
TOTAL SQUARE FOOTAGE OF EXISTING AND PROPOSED SIGNAGE =	87.3 SF (TOTAL)

12. COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:
REFER TO ELEVATIONS ON SHEETS A200 & A201 FOR PROPOSED DESIGN CHANGES
13. LIST OF ALL MATERIALS TO BE USED FOR THE BUILDING, MARKED ON THE ELEVATION DRAWINGS:
REFER TO ELEVATION TAGS AND ITEMS IN #15, REQUESTED DESIGN CHANGES
14. DETAILS OF EXISTING OR PROPOSED LIGHTING, SIGNAGE AND OTHER PERTINENT DEVELOPMENT FEATURES
EXISTING WALL MOUNTED SITE LIGHTS, TO REMAIN.
SIGNS BY OTHERS, REFER TO EXTERIOR ELEVATIONS A200 & A201
15. A LIST OF ANY REQUESTED DESIGN CHANGES:
 - 9 PROPOSING (12) VACUUM STANCHIONS FOR DETAILING ON NORTH SIDE OF BUILDING.
 - 10 PROPOSING 8" HORIZONTAL AND 6" VERTICAL PAINTED TO MATCH EXISTING BRICK, PVC PIPE MOUNTED TO BUILDING FACE AND BELOW GRADE ON THE NORTH SIDE OF BUILDING.
 - 11 N/A
 - 12 PROPOSING NEW DOOR W/ SIDE LIGHT FOR ENTRY INTO EXISTING LOBBY.
 - 13 PROPOSING NEW WALL MOUNTED SIGNS ON BROWN STREET AND WOODWARD AVENUE ELEVATIONS.
 - 14 N/A
 - 15 PROPOSED LANDSCAPING - SCREENING
16. ITEMIZED LIST OF ALL MATERIALS TO BE USED, INCLUDING EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER:

LIMITED MATERIALS PROPOSED ON THE WOODWARD AVE. & BROWN ST. FACADES.
- SIGNAGE, BY OTHERS, REFER TO SHEET A200 & A201 FOR MORE INFORMATION.
- 8" PAINTED PVC TUBES (HORIZONTAL), COLOR TO MATCH EXISTING BRICK
- 6" PAINTED PVC TUBES (VERTICAL), COLOR TO MATCH EXISTING BRICK
- METAL STANCHION AND VACUUM HOSES
- XPT AND JAX EQUIPMENT ON 6" RAISED CONCRETE ISLAND, REFER TO SHEET AS101 FOR MORE
17. LOCATION OF ALL EXTERIOR LIGHTING FIXTURES, EXACT SIZE SPECIFICATIONS, COLOR, STYLE AND THE NAME OF THE MANUFACTURER OF ALL FIXTURES AND A PHOTOMETRIC ANALYSIS OF ALL EXTERIOR LIGHTING FIXTURES SHOWING LIGHT LEVELS TO ALL PROPERTY LINES
L
18. ANY OTHER INFORMATION REQUESTED IN WRITING BY THE PLANNING DIVISION, THE DRB OR THE BUILDING OFFICIAL DEEMED IMPORTANT TO THE DEVELOPMENT



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MICHIGAN
31690 W. Twelve Mile Road
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JAX KAR WASH

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sheet title

PROPOSED EXTERIOR ELEVATIONS

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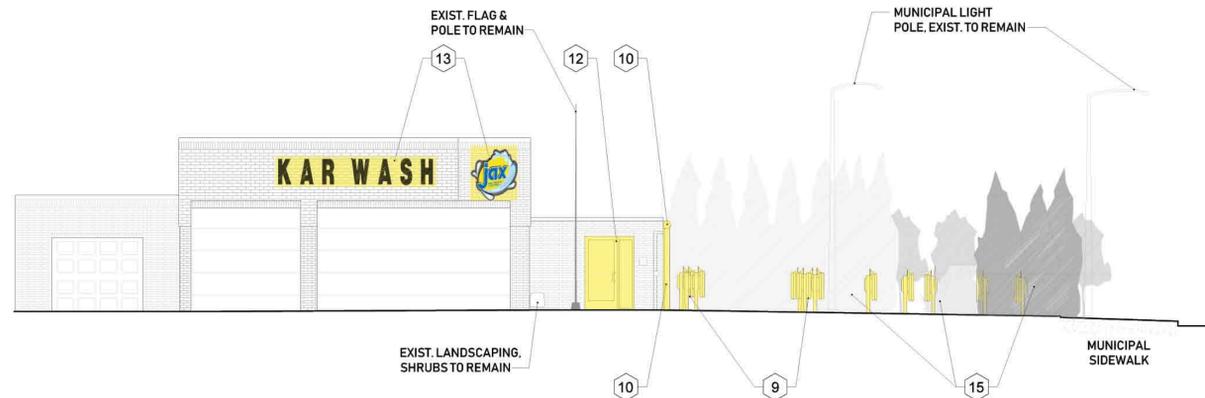
SPA - SECOND SUBMIT 8/28/19

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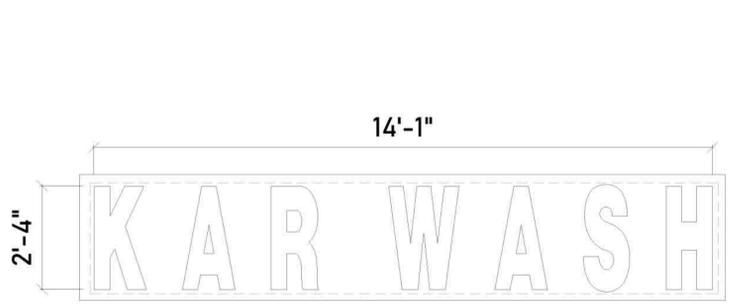
A200



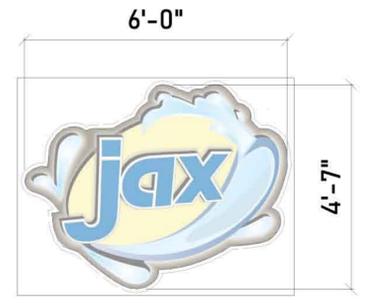
1 PROPOSED EAST ELEVATION (WOODWARD AVE.) SCALE: 1/8"=1'-0"



2 PROPOSED EAST ELEVATION (WOODWARD AVE.) SCALE: 1/8"=1'-0"



3 REVERSE HALO LIT CHANNEL LETTERS SCALE: N.T.S.



4 REVERSE HALO LIT SIGN BOX SCALE: N.T.S.

SIGN CALCULATIONS (WOODWARD AVE. FACADE / EAST ELEVATION)	
(1.5) x LINEAL FEET OF FRONTAGE = (1.5) x 32.875 =	49.3 SF (AVAILABLE)
24" REVERSE HALO LIT CHANNEL LETTERS READING 'KAR WASH' =	24.3 SF (PROPOSED)
+ (1) REVERSE HALO LIT SIGN BOX =	18 SF (PROPOSED)
=	TOTAL SQUARE FOOTAGE OF PROPOSED SIGNAGE = 42.3 SF (TOTAL)

12. COLOR ELEVATION DRAWINGS SHOWING THE PROPOSED DESIGN FOR EACH FACADE OF THE BUILDING:
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sheet title
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Exterior Material Finishes				
TAG	MATERIAL	MFR.	COLOR / STYLE	REMARKS/ NOTES
E1	STONE	ARRISCRAFT INTERNATIONAL OR APPROVED EQUAL	RENAISSANCE COLLECTION COLOUR - MONTECITO	
E2	PRE-CAST STONE CAP	ARRISCRAFT INTERNATIONAL OR APPROVED EQUAL	PRECAST STONE TO MATCH ABOVE	
E3	NEW BRICK TO MATCH EXIST.	RECLAIMED BRICK	TO MATCH EXISTING	
E4	EXISTING BRICK	--	--	
E5	STANDING SEAM METAL SIDING	PAC-CLAD SNAP CLAD PANELS OR APPROVED EQUAL	MIDNIGHT BRONZE	
E6	PRE-FINISHED METAL	PAC-CLAD BREAK SHAPE METAL OR APPROVED EQUAL	MIDNIGHT BRONZE	
E7	CEDAR WOOD SIDING	LONGBOARD WOOD GRAIN ALUM. PLANKS OR APPROVED EQUAL	LIGHT CHERRY	
E8	DARK ALUM FRAME WINDOWS	TUBELITE OR APPROVED EQUAL	EXTRA DARK BRONZE	
E9	ALUM ENTRANCE DOOR	TUBELITE OR APPROVED EQUAL	EXTRA DARK BRONZE	

LEGEND

ⓧ - RE EXTERIOR FINISH SCHEDULE

Variance Chart				
Requested Variance	Required	Existing	Proposed	Variance Amount
Variance A Front Setback on 3rd floor 3.04 A-1(f)	10.00 feet	N/A	0 feet	10.00 feet



2 NORTH ELEVATION - SIDE
SCALE: 1/8"



1 SOUTH ELEVATION - SIDE
SCALE: 1/8"

DATE	ISSUED FOR	REV
07/22/2019	PRELIM. SITE PLAN APPROVAL	0
07/22/2019	BOARD OF ZONING APPEALS	1
		2



This drawing has been prepared solely for the use of Major Companies and there are no representations of any kind made by NORR LLC to any party with whom NORR LLC has not entered into a contract.
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Keyplan

North Arrow

Detail Symbol

Detail No.
Sheet No.

Seal(s)

NORR

NORR LLC
An Ingenium Group Company

150 W. Jefferson Ave., Suite 1300
Detroit, Michigan, 48226 USA
www.norr.com

Project Manager C. LANQUE	Drawn
Project Leader	Checked
Client Major Companies 600 N. Old Woodward Suite 100 Birmingham, MI 48009	
Project ADDITION AND RENOVATION 720-726 N. OLD WOODWARD AVE. BIRMINGHAM, MI	
Drawing Title COLORED ELEVATIONS	
Project No.	JCDT18-0360
Drawing No.	03-02







SW 6811 | Honorable Blue

179-C7

SW 6811
Honorable Blue

179-C7

SW 6910 | Daisy

131-C6

SW 6910
Daisy

131-C6

SW 2848 | Roycroft Pewter

SW 2848
Roycroft Pewter

SW 2848 | Roycroft Pewter

SW 2848
Roycroft Pewter

SW 2836 | Quartersawn Oak

SW 2836
Quartersawn Oak



SECTION 084113 - ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

This suggested guide specification has been developed using the current edition of the Construction Specifications Institute (CSI) "Manual of Practice", including the recommendations for the CSI 3 Part Section Format and the CSI Page Format. Additionally, the development concept and organizational arrangement of the American Institute of Architects (AIA) MASTERSPEC Program has been recognized in the preparation of this guide specification. Neither CSI, AIA, USGBC nor ILFI endorse specific manufacturers and products. The preparation of the guide specification assumes the use of standard contract documents and forms, including the "Conditions of the Contract", published by the AIA.

PART 1 - GENERAL

1.1 Related Documents

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 Summary

EDITOR NOTE: CHOOSE DOOR TYPE (250T, 350T or 500T) BASED ON PROJECT REQUIREMENTS.

- A. This Section includes Kawneer Thermally Broken Aluminum Entrances, glass and glazing, and door hardware and components.
 - 1. Types of Kawneer Thermally Broken Aluminum Entrances include:
 - a. 250T Insulpour™ Thermal Entrance; Narrow stile, 2-1/2" (63.5 mm) vertical face dimension, 2-1/4" (57 mm) depth, moderate traffic applications.
 - b. 350T Insulpour™ Thermal Entrance; Medium stile, 3-1/2" (88.9 mm) vertical face dimension, 2-1/4" (57 mm) depth, high traffic applications.
 - c. 500T Insulpour™ Thermal Entrance; Wide stile, 5" (127 mm) vertical face dimension, 2-1/4" (57 mm) depth, high traffic applications.

EDITOR NOTE: BELOW RELATED SECTIONS ARE SPECIFIED ELSEWHERE. HOWEVER, KAWNEER RECOMMENDS SINGLE SOURCE RESPONSIBILITY FOR ALL OF THESE SECTIONS AS INDICATED IN PART 1.6 QUALITY ASSURANCE.

- B. Related Sections:
 - 1. 072700 "Air Barriers"
 - 2. 079200 "Joint Sealants"
 - 3. 083213 "Sliding Aluminum-Framed Glass Doors"
 - 4. 084313 "Aluminum-Framed Storefronts"
 - 5. 084329 "Sliding Storefronts"
 - 6. 084413 "Glazed Aluminum Curtain Walls"
 - 7. 084433 "Sloped Glazing Assemblies"
 - 8. 085113 "Aluminum Windows"
 - 9. 086300 "Metal-Framed Skylights"
 - 10. 087000 "Hardware"
 - 11. 088000 "Glazing"
 - 12. 280000 "Electronic Safety and Security"

1.3 Definitions

- A. Definitions: For fenestration industry standard terminology and definitions refer to American Architectural Manufacturers Association (AAMA) – AAMA Glossary (AAMA AG).

1.4 Performance Requirements

- A. General Performance: Aluminum-framed entrance doors shall withstand the effects of the following performance requirements without exceeding performance criteria or failure due to defective manufacture, fabrication, installation, or other defects in construction:
- B. Aluminum-Framed Entrance Performance Requirements:

EDITOR NOTE: PROVIDE WIND LOAD DESIGN PRESSURES IN PSF AND INCLUDE APPLICABLE BUILDING CODE AND YEAR EDITION.

- 1. Wind loads: Provide entrance system; include anchorage, capable of withstanding wind load design pressures of (____) lbs./sq. ft. inward and (____) lbs./sq. ft. outward. The design pressures are based on the (____) Building Code; (____) Edition.
- 2. Air Infiltration: For single acting offset pivot or butt hung entrances in the closed and locked position, the test specimen shall be tested in accordance with ASTM E 283 at a pressure differential of 1.57 psf (75 Pa) for pairs of doors. A single 3'0" x 7'0" (915 mm x 2134 mm) entrance door and frame shall not exceed 1.0 cfm/ft². A pair of 6'0" x 7'0" (1830 mm x 2134 mm) entrance doors and frame shall not exceed 1.0 cfm per square foot.

3. Uniform Load Deflection: A static air design load of;
 - 250T:** 50.13 psf (2400 Pa) for single doors and 40.10 psf (1920 Pa) for pairs of doors.
 - 350T:** 60.15 psf (2880 Pa) for single doors and 50.13 psf (2400 Pa) for pairs of doors.
 - 500T:** 70.19 psf (3360 Pa) for single doors and 60.15 psf (2880 Pa) for pairs of doors.

shall be applied in the positive and negative direction in accordance with ASTM E 330. There shall be no deflection in excess of L/175 for typical application or L/180 for Small-Missile and Large-Missile impact, of the span of any framing member. At a structural test load equal to 1.5 times the specified design load, no glass breakage or permanent set in the framing members in excess of 0.2% of their clear spans shall occur.
4. Windborne-Debris-Impact Resistance Performance: **350T** and **500T**, Shall be tested in accordance with ASTM E1886, information in ASTM E1996, and TAS 201/203.
 - a. Large-Missile Impact: For aluminum-framed systems located within 30 feet (9.1m) of grade.
 - b. Small-Missile Impact: For aluminum-framed systems located above 30 feet (9.1 m) of grade.
5. Blast Mitigation Performance: **350T** and **500T**, shall be tested or proven through analysis to meet ASTM F2927, GSA-TS01, and UFC 04-010.01 performance criteria.

To meet UFC 04-010-01, B-3.3 Standard 12 for exterior doors and Standard 10 for glazing and frame bite provisions, the following options are available:

 - a. Section B-3.1.1 Dynamic analysis
 - b. Section B-3.1.2 Testing
 - c. Section B-3.1.3 ASTM F2248 Design Approach
6. Forced Entry: Tested in accordance with AAMA 1304.

EDITOR NOTE: THERMAL TRANSMITTANCE AND CONDENSATION RESISTANCE PERFORMANCE RESULTS ARE BASED UPON 1" CLEAR INSULATING GLASS (1/4" CLEAR WITH e= 0.035 LOW E COATING ON #2 SURFACE ,1/2" AS WITH WARM EDGE SPACER AND 90% ARGON GAS FILL, 1/4" CLEAR).

7. Energy Efficiency:
 - a. Thermal Transmittance (U-factor): When tested to AAMA Specification 1503, the thermal transmittance (U-factor) shall not be more than:
 - 1) **250T:** Insulated Glass – 0.52 (low-e) or Project Specific (____) BTU/hr/ft²/°F per AAMA 507 or (____) BTU/hr/ft²/°F per AAMA 507 per NFRC 100.
 - b. Solar Heat-Gain Coefficient (SHGC) : Glazed thermally broken aluminum door and frame shall have a Solar Heat Gain Coefficient (SHGC) of no greater than (____) <Insert value> as determined according to NFRC 200.
 - c. Visible Transmittance (VT): Glazed thermally broken aluminum door and frame shall have a Visible Transmittance (VT) of no greater than (____) <Insert value> as determined according to NFRC 200.
 8. Condensation Resistance Factor (CRF): When tested to AAMA Specification 1503, the condensation resistance factor shall not be less than:
 - a. **250T:** Insulated Glass – 49_{frame} and 68_{glass} (low-e).
 9. Condensation Resistance Factor (I): When tested to CSA A440, the condensation resistance factor shall not be less than:
 - a. **250T:** Insulated Glass – 37_{frame} and 66_{glass} (low-e).
 10. Sound Transmission Class (STC) and Outdoor-Indoor Transmission Class (OITC): When tested in accordance with ASTM E 90, the STC and OITC ratings shall not be less than:
 - a. **250T:** 37 (STC) and 32 (OITC).
- C. Environmental Product Declarations (EPD): Shall have a Type III Product-Specific EPD.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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1.5 Submittals

EDITOR NOTE: ADD RECYCLED CONTENT SECTION IF REQUIRED TO MEET PROJECT REQUIREMENTS AND/OR GREEN BUILDING CERTIFICATIONS SUCH AS LEED, LIVING BUILDING CHALLENGE (LBC), ETC. ARE REQUIRED.

*** IF RECYCLED CONTENT REQUIREMENTS ARE NOT SPECIFIED - PRIME (ZERO RECYCLED CONTENT) ALUMINUM COULD BE SUPPLIED.**

- A. Product Data: Include construction details, material descriptions, and fabrication methods, dimensions of individual components and profiles, hardware, finishes, and installation instructions for each type of aluminum-framed entrance door indicated.
 - 1. Recycled Content:
 - a. Provide documentation that aluminum has a minimum of 50% mixed pre- and post-consumer recycled content with a sample document illustrating project specific information that will be provided after product shipment.
 - b. Once product has shipped, provide project specific recycled content information, including:
 - 1) Indicate recycled content; indicate percentage of pre- and post-consumer recycled content per unit of product.
 - 2) Indicate relative dollar value of recycled content product to total dollar value of product included in project.
 - 3) Indicate location recovery of recycled content.
 - 4) Indicate location of manufacturing facility.
 - 2. Environmental Product Declaration (EPD):
 - a. Include a Type III Product-Specific EPD.
- B. Shop Drawings: Include plans, elevations, sections, details, hardware, and attachments to other work, operational clearances and installation details.
- C. Samples for Initial Selection: For units with factory-applied color finishes including samples of hardware and accessories involving color selection.
- D. Samples for Verification: For aluminum-framed door and components required.
- E. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency for each type of aluminum-framed entrance doors.
- F. Fabrication Sample: Corner sample consisting of a door stile and rail, of full-size components and showing details of the following:
 - 1. Joinery, including welds.
 - 2. Glazing.
- G. Other Action Submittals:
 - 1. Entrance Door Hardware Schedule: Prepared by or under the supervision of supplier, detailing fabrication and assembly of entrance door hardware, as well as procedures and diagrams. Coordinate final entrance door hardware schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of entrance door hardware.

1.6 Quality Assurance

- A. Installer Qualifications: An installer which has had successful experience with installation of the same or similar units required for the project and other projects of similar size and scope.
- B. Manufacturer Qualifications: A manufacturer capable of fabricating thermally broken aluminum-framed entrance doors and storefronts that meet or exceed performance requirements indicated and of documenting this performance by inclusion of test reports and calculations.
- C. Source Limitations: Obtain thermally broken aluminum-framed door through one source from a single manufacturer.
- D. Product Options: Drawings indicate size, profiles, and dimensional requirements of aluminum-framed glass entrance doors and are based on the specific system indicated. Refer to Division 01 Section "Product Requirements". Do not modify size and dimensional requirements.
 - 1. Do not modify intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.
- E. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Build mockup for type(s) of swing entrance door(s) indicated, in location(s) shown on Drawings.
- F. Pre-installation Conference: Conduct conference at Project site to comply with requirements in Division 01 Section "Project Management and Coordination."

1.7 Project Conditions

- A. Field Measurements: Verify actual dimensions of thermally broken aluminum-framed door openings by field measurements before fabrication and indicate field measurements on Shop Drawings.

1.8 Warranty

- A. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty.
 - 1. Warranty Period: Two (2) years from Date of Substantial Completion of the project provided however that the Limited Warranty shall begin in no event later than six months from date of shipment by manufacturer.

PART 2 - PRODUCTS

2.1 Manufacturers

EDITOR NOTE: CHOOSE DOOR TYPE (250T, 350T or 500T) BASED ON PROJECT REQUIREMENTS.

A. Basis-of-Design Product:

- 1. Kawneer Company Inc.
- 2. The door stile and rail face dimensions of the [_____] (choose one: 250T, 350T or 500T) Insulpour™ Thermal Entrance will be as follows:

Door	Vertical Stile	Top Rail	Standard Bottom Rail	Select Optional Bottom Rail
250T:	2-1/2" (63.5 mm)	2-15/16" (74.6 mm)	3-7/8" (98.4 mm)	6-1/2" (165.1 mm)
				7" (177.8 mm)
				10" (254 mm)
				12" (304.8 mm)
350T:	3-1/2" (88.9 mm)	3-1/2" (88.9 mm)	6-1/2" (165.1 mm)	7" (177.8 mm)
				10" (254 mm)
				12" (304.8 mm)
				7" (177.8 mm)
500T:	5" (127 mm)	5" (127 mm)	6-1/2" (165.1 mm)	7" (177.8 mm)
				10" (254 mm)
				12" (304.8 mm)
				10" (254 mm)

- 3. Major portions of the door members to be 0.125" (3.2 mm) nominal in thickness and glazing molding to be 0.05" (1.3 mm) thick
- 4. Glazing gaskets shall be either EPDM elastomeric extrusions or a thermoplastic elastomer.
- 5. Provide adjustable glass jacks to help center the glass in the door opening.

EDITOR NOTE: PROVIDE INFORMATION BELOW INDICATING APPROVED ALTERNATIVES TO THE BASIS-OF-DESIGN PRODUCT.

B. Subject to compliance with requirements, provide a comparable product by the following:

- 1. Manufacturer: (_____)
- 2. Series: (_____)
- 3. Profile dimension: (_____)
- 4. Performance Grade: (_____)

C. Substitutions: Refer to Substitutions Section for procedures and submission requirements

- 1. Pre-Contract (Bidding Period) Substitutions: Submit written requests ten (10) days prior to bid date.
- 2. Post-Contract (Construction Period) Substitutions: Submit written request in order to avoid installation and construction delays.
- 3. Product Literature and Drawings: Submit product literature and drawings modified to suit specific project requirements and job conditions.
- 4. Certificates: Submit certificate(s) certifying substitute manufacturer (1) attesting to adherence to specification requirements for aluminum entrance and storefront system performance criteria, and (2) has been engaged in the design, manufacturer and fabrication of aluminum entrances and storefronts for a period of not less than ten (10) years. (Company Name)
- 5. Test Reports: Submit test reports verifying compliance with each test requirement required by the project.
- 6. Samples: Provide samples of typical product sections and finish samples in manufacturer's standard sizes.

D. Substitution Acceptance: Acceptance will be in written form, either as an addendum or modification, and documented by a formal change order signed by the Owner and Contractor.

Laws and building and safety codes governing the design and use of glass entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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2.2 Materials

- A. Aluminum Extrusions: Alloy and temper recommended by aluminum-framed door manufacturer for strength, corrosion resistance, and application of required finish and not less than 0.125" (3.2 mm) wall thickness at any location for the main frame and door leaf members.

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** IF RECYCLED CONTENT REQUIREMENTS ARE NOT SPECIFIED - PRIME (ZERO RECYCLED CONTENT) ALUMUNUM COULD BE SUPPLIED.*

1. Recycled Content: Shall have a minimum of 50% mixed pre- and post-consumer recycled content.
 - a. Indicate recycled content; indicate percentage of pre-consumer and post-consumer recycled content per unit of product.
 - b. Indicate relative dollar value of recycled content product to total dollar value of product included in project.
 - c. Indicate location recovery of recycled content.
 - d. Indicate location of manufacturing facility.
- B. Fasteners: Aluminum, nonmagnetic stainless steel or other materials to be non-corrosive and compatible with aluminum-framed door members, trim hardware, anchors, and other components.
- C. Anchors, Clips, and Accessories: Aluminum, nonmagnetic stainless steel, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating; provide sufficient strength to withstand design pressure indicated.
- D. Reinforcing Members: Aluminum, nonmagnetic stainless steel, or nickel/chrome-plated steel complying with ASTM B 456 for Type SC 3 severe service conditions, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions or other suitable zinc coating; provide sufficient strength to withstand design pressure indicated.
- E. Slide-In-Type Weather Stripping: Provide woven-pile weather stripping of wool, polypropylene, or nylon pile and resin-impregnated backing fabric. Comply with AAMA 701/702.
 1. Weather Seals: Provide weather stripping with integral barrier fin or fins of semi-rigid, polypropylene sheet or polypropylene-coated material. Comply with AAMA 701/702.
- F. Thermal Barrier: Shall be IsoPour™ utilizing two continuous rows of polypropylene with a nominal 7/32" (5.5 mm) separation consisting of a two-part, chemically curing high density polyurethane which is mechanically and adhesively bonded to the aluminum at door rails and stiles.

2.3 Storefront Framing System

EDITOR NOTE: CHOOSE ENTRANCE FRAMING TYPE BASED ON PROJECT REQUIREMENTS.

- A. Storefront Entrance Framing:
1. Trifab™ VG 451T
 2. Trifab™ 451UT
 3. Trifab™ 601/601T
 4. Thermally Broken entrance Framing - Kawneer IsoLock™ Thermal Break with a 1/4" (6.4 mm) separation consisting of a two-part chemically curing, high-density polyurethane, which is mechanically and adhesively joined to aluminum storefront sections.
 - a. Thermal Break shall be designed in accordance with AAMA TIR-A8 and tested in accordance with AAMA 505.
- B. Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.
- C. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, nonstaining, nonbleeding fasteners and accessories compatible with adjacent materials. Where exposed shall be stainless steel.
- D. Perimeter Anchors: When steel anchors are used, provide insulation between steel material and aluminum material to prevent galvanic action.
- E. Packing, Shipping, Handling and Unloading: Deliver materials in manufacturer's original, unopened, undamaged containers with identification labels intact.
- F. Storage and Protection: Store materials protected from exposure to harmful weather conditions. Handle storefront material and components to avoid damage. Protect storefront material against damage from elements, construction activities, and other hazards before, during and after storefront installation.

2.4 Glazing

- A. Glazing: As specified in Division 08 Section "Glazing".
- B. Glazing Gaskets: Manufacturer's standard compression types; replaceable, extruded EPDM rubber.
- C. Spacers and Setting Blocks: Manufacturer's standard elastomeric type.

2.5 Hardware

- A. General: Provide manufacturer's standard hardware fabricated from aluminum, stainless steel, or other corrosion-resistant material compatible with aluminum; designed to smoothly operate, tightly close, and securely lock aluminum-framed entrance doors.
- B. Standard Hardware:
1. Weather-stripping:
 - a. Meeting stiles on pairs of doors shall be equipped with two lines of weather-stripping utilizing wool pile with polymeric fin.
 - b. The door weathering on a single acting offset pivot or butt hung door and frame (single or pairs) shall be comprised of a thermoplastic elastomer weathering on a tubular shape with a semi-rigid polymeric backing and a wool pile with polymeric fin.
 2. Sill Sweep Strips: EPDM blade gasket sweep strip in an aluminum extrusion applied to the interior exposed surface of the bottom rail with concealed fasteners (Necessary to meet specified performance tests).
 3. Threshold: Extruded aluminum, thermally broken, with ribbed surface.
 4. Offset Pivots: [_____]. (Note: EL Offset Pivot available for access control)
 5. Butt Hinge: [_____]. Kawneer Standard is Stainless Steel w/ Powder Coating & Non Removable Pin (NRP) (NOTE: EL Hinge available for access control)
 6. Continuous Hinge: [_____].
 7. Push/Pull: [_____] style.
 8. Exit Device: [_____].
 9. Closer: [_____].
 10. Security Lock/Dead Lock: Active Leaf [_____]; Inactive Leaf [_____].
 11. Latch Handle: [_____].
 12. Cylinder(s)/Thumbturn: [_____].
 13. Electric Strike/Strike Keeper: [_____].
- C. Optional Hardware:

EDITOR NOTE: SUBSTITUTE OPTIONAL HARDWARE PER PROJECT REQUIREMENTS.

1. Adams Rite MS 1850A-505 Hookbolt Lock.
2. Mortise cylinder, interior or exterior.
3. Thumbturn, interior.
4. Flush pull.

2.6 Fabrication

- A. Fabricate thermally broken aluminum-framed entrance doors in sizes indicated. Include a complete system for assembling components and anchoring doors.
- B. Fabricate thermally broken aluminum-framed doors that are reglazable without dismantling perimeter framing.
1. Door corner construction shall consist of mechanical clip fastening, SIGMA deep penetration plug welds and 1" (25.4 mm) long fillet welds inside and outside of all four corners. Glazing stops shall be hook-in type with EPDM glazing gaskets reinforced with non-stretchable cord.
 2. Accurately fit and secure joints and corners. Make joints hairline in appearance.
 3. Prepare components with internal reinforcement for door hardware.
 4. Arrange fasteners and attachments to conceal from view.
- C. Weather-stripping: Provide weather-stripping locked into extruded grooves in door panels or frames as indicated on manufactures drawings and details.

2.7 Aluminum Finishes

- A. Finish designations prefixed by AA comply with the system established by the Aluminum Association for designating aluminum finishes.
- B. Factory Finishing:
1. Kawneer Permanodic™ AA-M10C21A44 / AA-M45C22A44, AAMA 611, Architectural Class I Color Anodic Coating (Color _____).
 2. Kawneer Permanodic™ AA-M10C21A41 / AA-M45C22A41, AAMA 611, Architectural Class I Clear Anodic Coating (Color #14 Clear) (Optional).
 3. Kawneer Permanodic™ AA-M10C21A31, AAMA 611, Architectural Class II Clear Anodic Coating (Color #17 Clear) (Standard).
 4. Kawneer Permafluor™ (70% PVDF), AAMA 2605, Fluoropolymer Coating (Color _____).
 5. Kawneer Permادize™ (50% PVDF), AAMA 2604, Fluoropolymer Coating (Color _____).
 6. Kawneer Permacoat™ AAMA 2604, Powder Coating (Color _____)
 7. Other: Manufacturer _____ Type _____ Color _____.

PART 3 - EXECUTION

3.1 Examination

- A. Examine openings, substrates, structural support, anchorage, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of work. Verify rough opening dimensions, levelness of sill plate and operational clearances. Examine wall flashings, vapor retarders, water and weather barriers, and other built-in components to ensure a coordinated installation.
 - 1. Masonry Surfaces: Visibly dry and free of excess mortar, sand, and other construction debris.
 - 2. Wood Frame Walls: Dry, clean, sound, well nailed, free of voids, and without offsets at joints. Ensure that nail heads are driven flush with surfaces in opening and within 3 inches (76 mm) of opening.
 - 3. Metal Surfaces: Dry; clean; free of grease, oil, dirt, rust, corrosion, and welding slag; without sharp edges or offsets at joints.
 - 4. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 Installation

- A. Comply with Drawings, Shop Drawings, and manufacturer's written instructions for installing thermally broken aluminum-framed entrance doors, hardware, accessories, and other components.
- B. Install thermally broken aluminum-framed entrance doors level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction.
- C. Set sill threshold in bed of sealant, as indicated, for weather tight construction.
- D. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

3.3 Field Quality Control

- A. Manufacturer's Field Services: Upon Owner's written request, provide periodic site visit by manufacturer's field service representative.

3.4 Adjusting, Cleaning, and Protection

- A. Clean aluminum surfaces immediately after installing aluminum-framed door and storefronts. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, dirt, and other substances.
- B. Clean glass immediately after installation. Comply with glass manufacturer's written recommendations for final cleaning and maintenance. Remove nonpermanent labels, and clean surfaces.
- C. Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.

DISCLAIMER STATEMENT

This guide specification is intended to be used by a qualified construction specifier. The guide specification is not intended to be verbatim as project specification without appropriate modifications for the specific use intended. The guide specification must be used and coordinated with the procedures of each design firm, and the particular requirements of a specific construction project.

END OF SECTION 084113



Final

Preliminary Site Plan Review Application
Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: JAX KAR WASH / JASON MILEN
Address: 34745 WOODWARD AVE.
BIRMINGHAM, MI 48009
Phone Number: 248-905-1218
Fax Number: _____
Email address: JASON@JAXKARWASH.NET

2. Property Owner

Name: BMW KAR WASH, LLC DBA JAX KAR WASH
Address: 28845 TELEGRAPH RD. / BRUCE MILEN
SOUTHFIELD, MI 48034
Phone Number: 248-444-0442
Fax Number: _____
Email address: BRUCE@JAXKARWASH.NET

3. Applicant's Attorney/Contact Person

Name: JASON MILEN
Address: 34745 WOODWARD AVE.
BIRMINGHAM, MI 48009
Phone Number: 248-905-1218
Fax Number: _____
Email address: JASON@JAXKARWASH.NET

4. Project Designer/Developer

Name: NUDELL ARCHITECTS / BRIAN LAWSON
Address: 31090 W. 12 MILE RD.
FARMINGTON HILLS, MI 48334
Phone Number: 248-324-8800
Fax Number: 248-324-0661
Email address: BLAWSON@JHN.COM

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;

- v. A Landscape Plan;
- vi. A Photometric Plan;
- vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 34745 WOODWARD AVE.
Name of development: JAX KAR WASH
Sidwell #: _____
Current Use: AUTO WASH
Proposed Use: AUTO WASH
Area of Site in Acres: 0.59 ACRES
Current zoning: B-2
Is the property located in the floodplain? No

Name of Historic District site is located in: N/A
Date of Historic District Commission Approval: N/A
Date of Design Review Board Approval: N/A
Will proposed project require the division of platted lots? NO
Will proposed project require the combination of platted lots? NO

7. Details of the Proposed Development (attach separate sheet if necessary)

EXTERIOR RENOVATIONS OF EXISTING AUTO WASH. NORTH SIDE DEMO WORK TO INCLUDE EXISTING PYLON SIGN & PORTION OF EXTERIOR WALL FOR NEW LOBBY DOOR. SOUTH SIDE DEMO OF OVERHEAD VACUUM TUBES/STRUCTURE/SIGNS & EXISTING VPT & CANOPY. PROPOSED NORTH SIDE WORK INCLUDING RELOCATION OF (10) PARKING SPACES TO SOUTH SIDE WITH DETAILING, RELOCATED TO THE NORTH. NEW 6" & 8" PVC TUBE @ NORTH FACE OF BUILDING SUPPLYING VACUUM TO HOSES ON (12) METAL STANCHIONS. NEW 23' ONE WAY CURB CUT, CLOSING 32' TWO WAY CURB. PROPOSED WALL SIGNS NORTH & EAST ELEVATIONS.

8. Buildings and Structures

Number of Buildings on Site: 1 Use of Buildings: AUTO WASH
 Height of Buildings & # of Stories: 13'-0" - 1 STORY
15'-8" (FACADE ON WOODWARD AVE) Height of Rooftop Mechanical Equipment: 15'-0" + 16'-0"

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures: N/A
 Total basement floor area: _____
 Number of square feet per upper floor: _____
 Total floor area: _____
 Floor area ratio (total floor area ÷ total land area): _____
 Open space: _____
 Percent of open space: _____

Office Space: _____
 Retail Space: _____
 Industrial Space: _____
 Assembly Space: _____
 Seating Capacity: _____
 Maximum Occupancy Load: _____

Proposed Residential Structures: N/A
 Total number of units: _____
 Number of one bedroom units: _____
 Number of two bedroom units: _____
 Number of three bedroom units: _____
 Open space: _____
 Percent of open space: _____

Rental units or condominiums? _____
 Size of one bedroom units: _____
 Size of two bedroom units: _____
 Size of three bedroom units: _____
 Seating Capacity: _____
 Maximum Occupancy Load: _____

Proposed Additions: N/A
 Total basement floor area, if any, of addition: _____
 Number of floors to be added: _____
 Square footage added per floor: _____
 Total building floor area (including addition): _____
 Floor area ratio (total floor area ÷ total land area): _____
 Open Space: _____
 Percent of open space: _____

Use of addition: _____
 Height of addition: _____
 Office space in addition: _____
 Retail space in addition: _____
 Industrial space in addition: _____
 Assembly space in addition: _____
 Maximum building occupancy load (including addition): _____

10. Required and Proposed Setbacks

Required front setback: 0
 Required rear setback: 10'-0"
 Required total side setback: 0
 Side setback: 0

Proposed front setback: 0
 Proposed rear setback: 10'-0"
 Proposed total side setback: 0
 Second side setback: 0

11. Required and Proposed Parking

Required number of parking spaces: 10
 Typical angle of parking spaces: 90°
 Typical width of maneuvering lanes: 15'-0"
 Location of parking on site: SOUTH SIDE
 Location of parking off site: _____
 Number of light standards in parking area: 0 (WALL MOUNTED)
 Screenwall material: _____

Proposed number of parking spaces: 10
 Typical size of parking spaces: 9' x 20'
 Number of spaces <180 sq. ft.: 1
 Number of handicap spaces: 1
 Shared parking agreement? _____
 Height of light standards in parking area: ALL WALL MOUNTED
 Height of screenwall: _____

12. Landscaping

Location of landscape areas:
54 SF (EXISTING) NORTHSIDE @ LOBBY ENTRY
64 SF NORTH SIDE @ EXISTING CROSSWALK
269 SF CIRCULAR BED SOUTHSIDE @ TURN
404 SF ALONG SOUTH EAST PROPERTY LINE
TOTAL: 951 SF TO POTENTIALLY BE REDUCED
WITH INCLUSION OF PLANTS LOCAL TO
THE AREA

Proposed landscape material: TBD

13. Streetscape

Sidewalk width: BROWN: 6'-4" WOODWARD: 5'-0"
Number of benches: 1
Number of planters: 3
Number of existing street trees: 0
Number of proposed street trees: 5
Streetscape plan submitted? NO

Description of benches or planters: EXISTING BENCH
& PLANTERS @ LOBBY ENTRY. (1) MORE
PROPOSED
Species of existing trees: N/A
Species of proposed trees: TBD

14. Loading

Required number of loading spaces: 1
Typical angle of loading spaces: 90°
Screenwall material: N/A
Location of loading spaces on site: SOUTH SIDE

Proposed number of loading spaces: 1
Typical size of loading spaces: 12' x 40'
Height of screenwall: _____
Typical time loading spaces are used: AM. PRIOR TO OPEN

15. Exterior Waste Receptacles

Required number of waste receptacles: 1
Location of waste receptacles: SOUTH CORNER
Screenwall material: WOOD PICKET FENCE

Proposed number of waste receptacles: 1
Size of waste receptacles: EXISTING
Height of screenwall: 6'-0"

16. Mechanical Equipment

Utilities and Transformers:
Number of ground mounted transformers: 1
Size of transformers (L•W•H): 6' • 5' • 3'
Number of utility easements: 0
Screenwall material: WOOD PICKET FENCE

Location of all utilities & easements: SOUTH CORNER
Height of screenwall: 6'-0"

Ground Mounted Mechanical Equipment:
Number of ground mounted units: 0
Size of ground mounted units (L•W•H): N/A
Screenwall material: N/A

Location of all ground mounted units: N/A
Height of screenwall: N/A

Rooftop Mechanical Equipment:
Number of rooftop units: 4
Type of rooftop units: HVAC (2) EXHAUST (2)
Screenwall material: NONE (WOODWARD PARAPET)
Location of screenwall: WOODWARD FACADE

Location of all rooftop units: _____
Size of rooftop units (L•W•H): _____
Percentage of rooftop covered by mechanical units: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

17. Accessory Buildings

Number of accessory buildings: 2
Location of accessory buildings: SOUTH SIDE (REAR)

Size of accessory buildings: BOOTH 11' x 6' ICE MELT 11' x 10'
Height of accessory buildings: 7' 7'

18. Building Lighting

Number of light standards on building: 10
Size of light fixtures (L•W•H): 29 1/8" x 11" x 23 1/4"
Maximum wattage per fixture: 1,000 W
Light level at each property line: BROWN @ 0 FC
WOODWARD @ 14.5 FC (MAX)

Type of light standards on building: WALL MOUNTED
HALIDE
Height from grade: (17) @ 13'-0" (3) @ 15'-8"
Proposed wattage per fixture: 1,000 W
EXISTING

19. Site Lighting

Number of light fixtures: ABOVE ✓
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: ABOVE ✓
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: 6

Property #1

Number of buildings on site: 1
Zoning district: PP
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: MUNICIPAL PARKING,
GARAGE

North, south, east or west of property? NORTH WEST

Property #2

Number of buildings on site: 1
Zoning district: B-4
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: COMMERCIAL BUILDING
INCLUDING: MORGAN STANLEY,
BIRMINGHAM TRUST & LADY JANE'S

North, south, east or west of property? NORTH

Property #3

Number of buildings on site: 1
Zoning district: B-2
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
ST. JOHN PROVIDENCE HEALTH SYSTEMS
& METROPOLITAN TAILORING

North, south, east or west of property? WEST

Property #4

Number of buildings on site: 1
Zoning district: B-2
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
BLUE WHEEL MEDIA

North, south, east or west of property? WEST

Property #5

Number of buildings on site: 1
Zoning district: B-3
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
POWER HOUSE GYM & ONLINE INVESTMENT
SERVICES

North, south, east or west of property? SOUTH

Property #6

Number of buildings on site: 1
Zoning district: B-3
Use type: _____
Square footage of principal building: _____
Square footage of accessory buildings: _____
Number of parking spaces: _____

Property Description: BUSINESS INCLUDING:
BEACH HOUSE DAY SPA

North, south, east or west of property? SOUTH

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: Bruce Milen Date: 7/1/19

Print Name: Bruce Milen

Signature of Applicant: Jason Milen Date: 7/1/19

Print Name: Jason Milen

Signature of Architect: Brian Lawson Date: 7/2/19

Print Name: BRIAN LAWSON

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____



PRELIMINARY SIT PLAN REVIEW APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: JAX KAR WASH / JASON MILLEN Case #: _____ Date: _____

Address: 34745 WOODWARD AVE. Project: JAX KAR WASH RENOVATION

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Preliminary Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

1. Name and address of applicant and proof of ownership;
2. Name of Development (if applicable);
3. Address of site and legal description of the real estate;
4. Name and address of the land surveyor;
5. Legend and notes, including a graphic scale, north point, and date;
6. A separate location map;
7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
8. Aerial photographs of the subject site and surrounding properties;
9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
11. Interior floor plans;
12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- 14. Existing and proposed utilities and easements and their purpose;
- 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- 16. General description, location, and types of structures on site;
- 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- 18. Details of existing or proposed lighting, signage and other pertinent development features;
- 19. Elevation drawings showing proposed design;
- 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- 21. Location of all exterior lighting fixtures;
- 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- 25. Color elevation drawings showing the proposed design for each façade of the building;
- 26. List of all materials to be used for the building, marked on the elevation drawings;
- 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- 28. Details of existing or proposed lighting, signage and other pertinent development features;
- 29. A list of any requested design changes;
- 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



Notice Signs - Rental Application Community Development

1. Applicant

Name: JAX KAR WASH / JASON MILEN
 Address: 34745 WOODWARD AVE.
BIRMINGHAM, MI 48009
 Phone Number: 248-905-1218
 Fax Number: _____
 Email address: JASON@JAXKARWASH.NET

Property Owner

Name: BMW KAR WASH LLC DBA JAX KAR WASH
 Address: 28845 TELEGRAPH RD. / BRUCE MILEN
SOUTHFIELD, MI 48034
 Phone Number: 248-444-0442
 Fax Number: _____
 Email Address: BRUCE@JAXKARWASH.NET

2. Project Information

Address/Location of Property: 34745 WOODWARD AVE.
 Name of Development: JAX KAR WASH
 Area in Acres: 0.59 ACRES

Name of Historic District site is in, if any: N/A
 Current Use: AVTO WASH
 Current Zoning: P-2

3. Date of Board Review

Board of Building Trades Appeals: _____
 City Commission: _____
 Historic District Commission: _____
 Planning Board: _____

Board of Zoning Appeals: _____
 Design Review Board: _____
 Housing Board of Appeals: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: Jason Miles Date: 7/1/19

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Reviewed by: _____

NUDELL ARCHITECTS



31690 W. Twelve Mile Road
Farmington Hills, Michigan 48334
t 248 324 8800 f 248 324 0661



TRANSMITTAL

DATE: 07/03/2019	RE: Jax Kar Wash 34745 Woodward Ave., Birmingham, MI 48009
SEND TO: City of Birmingham Planning Department Attn: Nicholas Dupuis 151 Martin Street Birmingham, MI 48012 (248) 530-1856	JHN JOB # 2018-052
SHIPPED VIA:	

Urgent
 Reply ASAP
 Please comment
 Please review
 For your information

ITEMS ENCLOSED for PRELIMIINARY SITE PLAN REVIEW:

- (2) copies of sheets: AS100, AS101, AS102, A200 & A201
- (2) copies of reference sheets, by others: Exist survey, Exist survey2, site lights, site lights2
- (1) copy of a completed Preliminary Site Plan Review Application – Planning Division
- (1) check made out to: City of Birmingham (\$1,200)

Nick,
 Items enclosed are in response to our discussions regarding the JAX in Birmingham and are for Preliminary Site Plan Review. Please feel free to contact me if you have any questions or require anything further.

Best Regards,
BRIAN LAWSON
 Project Manager
blawson@jhn.com
 p. 248.324.8800 f. 248.324.0661

From: Brian Lawson – Design Project Manager
 cc:



- ⊕ Design, Engineering, Fabrication, Installation, Service
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NUDELL ARCHITECTS



31690 W. Twelve Mile Road
Farmington Hills, Michigan 48334
T 248 324 8800 F 248 324 0661

July 16, 2019

City of Birmingham
Department of Public Services
Attn: Carrie Laird
Parks & Recreation Manager
851 S. Eton Street
Birmingham, MI 48009

RE: Jax Kar Wash
34745 Woodward Avenue,
Birmingham, MI 48009

Street Trees

Dear Carrie,

I'm writing regarding the renovation of the Jax Kar Wash at 34745 Woodward Ave. and the associated requirements for street trees, as described in the city ordinance.

Article 4, Section 4.20(G) - **Street Trees**: All site plans shall include in the right-of-way along all streets, at least 1 street tree for each 40 linear feet of frontage. The Staff Arborist may waive this requirement if there is not adequate green space in the right-of-way to support such trees.

The existing site has frontage on both Woodward Ave. and Brown St. We are proposing to locate trees in the R.O.W. along the Brown St. frontage. After taking into account the curb cuts, cross walks and other elements along Brown St. we are proposing (5) trees for consideration. The frontage along Woodward Ave. does not allow the same opportunity to include street trees. As such, we'd like to request a waiver for the (2-3) trees that would be required along Woodward Ave.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Brian Lawson', is written over a horizontal line.

Brian Lawson
Project Manager

DATE: October 23rd, 2019

TO: Planning Board

FROM: Brooks Cowan, City Planner

SUBJECT: 111 Henrietta & 195 W. Maple – Brooklyn Pizza - Final Site Plan Review & Special Land Use Permit

On April 8, 2019, the City Commission reviewed a second round of bistro applications, and selected Brooklyn Pizza as one of the two applications to move forward to the Planning Board for a Final Site Plan and Special Land Use Permit and Design Review.

Brooklyn Pizza is located at 111 Henrietta and is proposing to expand into the adjacent suite at 195 W. Maple. The proposed bistro space is currently used by Brooklyn Pizza and a computer repair store, Birmingham Geek . The parcel is zoned B-4, Business-Residential and D-4 in the Downtown Overlay District. At this time, the applicant, 111 Brooklyn, Inc, is seeking approval of a Special Land Use Permit ("SLUP") and Final Site Plan for Brooklyn Pizza to expand into the adjacent site and change to a bistro. The applicant is proposing to demolish the interior of 195 W. Maple to expand the existing restaurant and create a bar area while updating their existing space. Both interior and exterior modifications are proposed.

Chapter 10, Alcoholic Liquors, requires that the applicant obtain approval of a SLUP and Final Site Plan from the City Commission. Accordingly, the applicant will be required to obtain a recommendation from the Planning Board on the Final Site Plan and Special Land Use Permit, and then obtain approval from the City Commission for the Final Site Plan and Special Land Use Permit.

As the site is also in a Historic District, the applicant will be required to obtain approval from the Historic District Commission for all proposed signage, changes to the exterior of the building or the property and changes to the streetscape adjacent to the building.

1.0 Land Use and Zoning

- 1☐ Existing Land Use - The existing site is currently occupied by Brooklyn Pizza as a restaurant and a computer repair store is next door in the build out suite. Land uses surrounding the site are retail and commercial.
- 1☐ Existing Zoning – The property is currently zoned B-4, Business-Residential, and D-4 in the Downtown Overlay District. The existing use and surrounding uses appear to conform to the permitted uses of each Zoning District.

1.3 Summary of Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

	North	South	East	West
Existing Land Use	Commercial / Retail	Commercial / Retail	Commercial / Retail	Commercial / Retail
Existing Zoning District	B-4, Business-Residential	B-4, Business-Residential	B-4, Business-Residential	B-4, Business-Residential
Downtown Overlay Zoning District	D-4	D-4	D-4	D-4

2.0 **Bistro Requirements**

The applicant is requesting approval of a SLUP to operate Brooklyn Pizza bistro as an expansion at their current location.

Article 9, section 9.02, Definitions, of the Zoning Ordinance defines a bistro as a restaurant with a full service kitchen with a maximum of 65 seats indoors, and a maximum of 65 seats outdoors. The proposed renovations for Brooklyn Pizza includes the addition of a bar in the build out suite of the current computer repair store, and proposes 55 interior dining seats plus an additional 10 seats at the bar, for a total of 65 interior seats. Brooklyn Pizza will continue to utilize their full service kitchen and will offer an outdoor dining area with 41 seats along the west side of the building.

Article 3, section 3.04(C)(10) Building Use of the Zoning Ordinance permits bistros in the Overlay District as long as the following conditions are met:

- (a) No direct connect additional bar permit is allowed and the maximum seating at a bar cannot exceed 10 seats;
- (b) Alcohol is served only to seated patrons, except those standing in a defined bar area;
- (c) No dance area is provided;
- (d) Only low key entertainment is permitted;
- (e) Bistros must have tables located in the storefront space lining any street, or pedestrian passage;
- (f) A minimum of 70% glazing must be provided along building facades facing a street or pedestrian passage between 1' and 8' in height;

-
- (g) All bistro owners must execute a contract with the City outlining the details of the operation of the bistro; and
 - (h) Outdoor dining must be provided, weather permitting, along an adjacent street or passage during the months of May through October each year. Outdoor dining is not permitted past 12:00 a.m. If there is not sufficient space to permit such dining on the sidewalk adjacent to the bistro, an elevated, ADA compliant, enclosed platform must be erected on the street adjacent to the bistro to create an outdoor dining area if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.

As discussed above, Brooklyn Pizza bistro is proposed to have 10 seats at the bar. The applicant has proposed an L shaped bar that is 22'2" in length on its long side and 6'11" in length on the shorter side. No direct connect bar permit will be permitted from this license if it is approved. Alcohol may only be served to seated patrons and those standing in the defined bar area. Brooklyn Pizza bistro does not propose any dance area, nor are they planning to offer a live music entertainment area.

Tables are located in the majority of the storefront space along Maple and Henrietta, although the bar also occupies a portion of the store frontage. Brooklyn Pizza is currently approved for outdoor dining, and is proposing to extend the dining tables further north along Henrietta Street on the west elevation. The addition of the 70% required glazing to the building façade facing the street has been proposed along the western and northern elevation. An outdoor counter with 7 stools is proposed along the patio space. 3 of these stools face a bifold window that connects to the bar. **A potential issue is that the proposed outdoor counter could count as bar seats if they are able to receive service from the bar through the bifold window. Only 10 bar seats are permitted for bistros, therefore the number of indoor bar seats would have to be reduced if patrons could receive bar service at the outdoor patio counter.**

Brooklyn Pizza bistro is proposing to continue to provide outdoor dining and provide additional seats along the western elevation of the building. The outdoor dining area as proposed includes 41 total seats, which includes the addition of 11 seats to the current seating under the existing canopy structure. The site plan indicates the required 5' walking path around the outdoor dining area, ensuring a safe and efficient pedestrian flow along the city sidewalks continues to be maintained. The applicant is proposing to cease outdoor dining at 11:00 p.m.

3.0 Screening and Landscaping

- 3.1 Screening – No screening is required, nor proposed.
 - 3.2 Landscaping –Five planters are proposed along the outdoor dining area on Henrietta. **The applicant must provide details related to the size and type of vegetation to be used in these planters.**
 - 3.3 Rooftop Mechanical Equipment – The two rooftop mechanical units are proposed to remain as is. The applicant has proposed to screen the RTU's with cement fiber
-

board on the north, east, and south facing sides while leaving the west side unscreened for both. Section 4.54(C)(8)(c) states that any screenwall barrier shall, to the best extent possible, not extend above the top edge of an imaginary plane extending upward no more than 45 degrees from the eave line. The current RTUs extend beyond this boundary as they are currently located 2' and 3'10" from the eave line. **The Planning Department recommends that the applicant fully screen both RTUs on all sides.**

4.0 Parking, Loading, Access, and Circulation

- 4.1 Parking – As the subject site is located within the Parking Assessment District, the applicant is not required to provide on-site parking. The proposed outdoor dining area will not extend into any on-street parking spaces.
- 4.2 Loading - Loading spaces are not required, nor proposed.
- 4.3 Vehicular Access & Circulation - Vehicular access to the building will not be altered.
- 4.4 Pedestrian Access & Circulation – Pedestrian access to Brooklyn Pizza is available directly from the City sidewalks on W. Maple and Henrietta. Under the 2016 Plan, outdoor cafes are encouraged as they create a more pedestrian friendly environment. All outdoor dining areas must maintain a 5' minimum width of unobstructed pedestrian access along storefronts and pedestrian passages. As discussed above, the outdoor dining area as proposed does provide a 5' wide pedestrian path for safe and efficient pedestrian flow.
- 4.5 Streetscape – Currently there are two existing benches in front of Brooklyn Pizza on Henrietta facing towards the east. Each are beside a City standard garbage can. **The plans indicate the removal of the southern sidewalk bench that is currently placed between the streetlight and the tree grate.**

The applicant is proposing new tree grates along the sidewalk which are included in the required 5' pedestrian passageway. **The applicant must provide details and specifications for the proposed tree grates demonstrating that they are ADA compliant.** The current Statue of Liberty will be moved further north to accommodate the expanded outdoor dining.

5.0 Lighting

Existing pedestrian scale light fixtures along the western elevation of the building illuminate Henrietta Street and will continue to do so. The applicant is also proposing to relocate lighting to illuminate the projecting sign. These relocated light fixtures will match the existing lights. **The applicant must provide specification sheets for all luminaires.** In addition, a new 7" LED downlight above the relocated entrance at the corner of Henrietta and W. Maple is proposed. **The applicant must submit a photometric plan.**

6.0 Departmental Reports

- 6.1 Engineering Division – Comments to be provided for the Planning Board meeting.
- 6.2 Department of Public Services - Comments to be provided for the Planning Board meeting.
- 6.3 Fire Department – Comments to be provided for the Planning Board meeting.
- 6.4 Police Department - Comments to be provided for the Planning Board meeting.
- 6.5 Building Department - Comments to be provided for the Planning Board meeting.

7.0 Design Review

As this building is located within the Downtown Historic District, all design changes must be approved by the Historic District Commission.

Building Changes

The applicant is proposing to alter the northern and western elevations. Along W. Maple the changes include removing the existing storefront door and relocating the entrance to the northwest corner. The proposed alterations to the western elevation include additional glazing along the build out suite with the addition of an overhead bi-fold window. The additional glazing satisfies the 70% minimum requirement. **The applicant must provide specification sheets for the proposed glass. Glass areas are required to be clear with a VLT of 80% or above.**

The applicant is also proposing to update the exterior with blue and white cement fiber boards. The boards are proposed to be painted in a triangular manner between the entrance and the current canopy. **Section 3.04(E)(1) of the Zoning Ordinance indicates E.F.I.S. (Exterior Insulation and Finish System) is prohibited. The applicant must select a different material or obtain a variance from BZA.**

No changes are proposed to the existing southern elevation facing the public via at this time. This property is along an active alley within the Via Activation Overlay District. Currently, the alley is used for loading, trash refuge, and rear entry to the kitchen. **The Planning Board may wish to discuss possible improvements to the via.**

Outdoor Dining Area

Outdoor cafes must comply with the site plan criteria as required by Article 04, Section 4.41 OD-01, Outdoor Dining Standards. Outdoor cafes are permitted immediately adjacent to the principal use and are subject to site plan review and the following conditions:

1. Outdoor dining areas shall provide and service refuse containers within the outdoor dining area and maintain the area in good order.
 2. All outdoor activity must cease at the close of business, or as noted in Subsection 3 below, whichever is earlier.
-

3. When an outdoor dining area is immediately adjacent to any single-family or multiple-family residential district, all outdoor activity must cease at the close of business or 12:00 a.m., whichever is earlier.
4. All tables and chairs provided in the outdoor dining area shall be constructed primarily of metal, wood, or material of comparable quality.
5. Table umbrellas shall be considered under Site Plan Review and shall not impede sight lines into a retail establishment, pedestrian flow in the outdoor dining area, or pedestrian or vehicular traffic flow outside the outdoor dining area.
6. For outdoor dining located in the public right-of-way:
 - (a) All such uses shall be subject to a license from the city, upon forms provided by the Community Development Department, contingent on compliance with all city codes, including any conditions required by the Planning Board in conjunction with Site Plan approval.
 - (b) In order to safeguard the flow of pedestrians on the public sidewalk, such uses shall maintain an unobstructed sidewalk width as required by the Planning Board, but in no case less than 5 feet.
 - (c) An elevated, ADA compliant, enclosed platform may be erected on the street adjacent to an eating establishment to create an outdoor dining area if the Engineering Department determines there is sufficient space available for this purpose given parking and traffic conditions.
 - (d) No such facility shall erect or install permanent fixtures in the public right-of-way.
 - (e) Commercial General Liability Insurance must be procured and maintained on an "occurrence basis" with limits of liability not less than \$1,000,000 per occurrence combined single limit, personal injury, bodily injury and property damage. This coverage shall include an endorsement naming the city, including all elected and appointed officials, all employees, all boards, commissions and/or authorities and board members, as an additional insured. This coverage must be primary and any other insurance maintained by the additional insureds shall be considered to be excess and non-contributing with this insurance, and shall include an endorsement providing for a thirty (30) day advance written notice of cancellation or non-renewal to be sent to the city's Director of Finance.

The applicant has provided a 40 gallon steel trash receptacle within the outdoor dining area next to existing entrance as required by the Zoning Ordinance. The current Brooklyn Pizza restaurant has business hours of 11:00am to 10:00 p.m. for the outdoor dining area. The applicant has indicated that their proposed business hours for the outdoor dining area are 11am to 11pm seven days a week. The proposed outdoor dining area is not immediately adjacent to any single-family zoned property.

The applicant has provided details of the proposed outdoor tables and chairs which will consist of metal and wood material. The plans indicate the existing bench along the western elevation will remain with 6 tables and 11 chairs. The 2 existing tables with 8 chairs on the southern portion of their outdoor patio will remain as well. The applicant is proposing an addition of an exterior countertop along the western elevation with 7 countertop stools. A

portion of the new countertop and stools will be facing the proposed bi-fold window. 2 new tables with 4 chairs are also proposed along the new barrier towards the northern end of the outdoor patio. There is a total of 41 seats proposed for the outdoor dining, including 11 for the existing bench, which meets the Zoning Ordinance requirement of no more than 65 outdoor dining seats.

The outdoor seating area will be surrounded by a metal railing barrier and black fiberglass planters. **The applicant must provide specifications detailing the railing material and height.** The site plan indicates the required 5' clear pedestrian path between the street and the the outdoor dining barrier.

The applicant will be required to obtain an Outdoor Dining License from the City if the SLUP is approved by the City Commission.

Signage

The applicant is proposing two name letter signs reading "BROOKLYN PIZZA" above the newly renovated corner entrance at Henrietta and Maple, one facing north and the other facing west. Each sign is 14.63 square feet. The lettering is 1'10" in height and attached to the façade 9' above ground level. All characters will be metal channel letters painted black and pin mounted to the façade. The "BROOKLYN" portion of the sign will be illuminated with backlit lighting. Because this property is within the Historic District, only halo type backlighting is permitted for name letter signs. **The applicant must provide details in regards to the illumination of the sign as halo lit.**

A projecting sign is proposed next to the entrance on Henrietta that is 2' by 2.5', 5 square feet per side, 10 square feet total, which satisfies the requirement of 15 square feet or less. The proposed projecting sign is 8'7" above ground level and provides 6" of separation between the sign and the wall face.

There is an existing canopy sign with "BROOKLYN PIZZA" along the valance with lettering 7" in height extended 10'2" long and 5.95 square feet total which is proposed to remain. The existing canopy and signage meets all requirements of the Zoning Ordinance. The existing wall sign that wraps around the southwest corner of the building reading "BROOKLYN PIZZA" in 5" lettering is 2.82 square feet and is proposed to remain as well.

The building has 134 feet of street frontage though the Zoning Ordinance states that the total area of signs for a building may not exceed 100 feet. The applicant has proposed a total of 48 square feet of signage which meets the ordinance.

8.0 Downtown Birmingham 2016 Overlay District

The site is located within the D-4 zone of the Downtown Birmingham Regulating Plan, within the Downtown Birmingham Overlay District. The 2016 Plan recommends the addition of outdoor dining areas in the public right-of-way as it is in the public's best interest as it enhances street life, thus promoting a pedestrian friendly environment. The 2016 Plan also

recommends the enhancement of pedestrian passages to improve routes for pedestrians. Appendix C-9 of the 2016 Plan provides a map of all alleys in downtown Birmingham, and classifies each as an alley or a pedestrian passage. The recommendations contained in Circulation 5 of the 2016 Plan state that alleys should be kept clean and well lit, but that their service function should not be compromised. The Plan further states that pedestrian passages should be held to higher standards, similar to sidewalks, given their pedestrian function. The 2016 Plan specifically recommends encouraging outdoor dining areas along pedestrian passages. **The Planning Board may wish to discuss ways in which the applicant can enhance the alley to promote a more pedestrian friendly environment.**

9.0 Selection Criteria for Bistro Licenses

Chapter 10, Alcoholic Liquors, section 10-82 provides a limitation on the number of Bistro Licenses that the City Commission may approve, and provides selection criteria to assist the Planning Board and City Commission in evaluating applications for Bistro Licenses. Section 10-82 states:

- (a) **Maximum Number of Bistro Licenses.** The city commission may approve a maximum number of license transfers for Bistro licenses per calendar year as follows:
- (1) New establishments. Two (2) Bistro Licenses may be approved each calendar year to applicants who do not meet the definition of existing establishments as set forth in (a)(1) above. In addition to the usual criteria used by the city commission for liquor license requests, the commission shall consider the following non-exclusive list of criteria to assist in the determination of which of the new establishment applicants, if any, should be approved:
 - a) The applicant's demonstrated ability to finance the proposed project.
 - b) The applicant's track record with the city including responding to city and/or citizen concerns.
 - c) Whether the applicant has an adequate site plan to handle the bistro liquor license activities.
 - d) Whether the applicant has adequate health and sanitary facilities.
 - e) The establishment's location in relation to the determined interest in the establishment of bistros in the Overlay District and the Triangle District.
 - f) The extent that the cuisine offered by applicant is represented in the city.
 - g) Whether the applicant has outstanding obligations to the city (ie property taxes, utilities, etc.).

The selection criteria provided above must be considered in providing a recommendation to the City Commission as to whether or not to approve the operation of a new bistro and ensure that Brooklyn Pizza will be a high quality establishment that will meet the City's expectations for bistros. Accordingly, a review of the requirements contained in section 10-82 is below.

The applicant has indicated they have the ability to finance this project with cash and do not need to obtain financing. Brooklyn Pizza has been in Birmingham since 1996 and has demonstrated a good track record with the city. The applicant would like to take Brooklyn Pizza to the next level by converting it to a bistro while still maintaining the same authentic family friendly atmosphere in an expanded restaurant setting with a wider selection of menu items and a select assortment of alcoholic beverages.

The owner of Brooklyn Pizza operates one other establishment in Troy, Michigan and has no issues with the city or State in regards to liquor license violations.

As discussed above, the site plan as proposed does provide for safe and efficient pedestrian flow along the city sidewalks and the plan provides space for a trash receptacle in the outdoor dining area.

In regards to the cuisine offered downtown, there are no known restaurants that specialize in pizza in the same manner as Brooklyn Pizza.

The applicant has no outstanding financial obligations with the City of Birmingham at this time.

10.0 Approval Criteria for Final Site Plan

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
 - (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
 - (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property not diminish the value thereof.
 - (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
 - (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
 - (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.
-

11.0 Approval Criteria for Special Land Use Permits

Article 07, section 7.34 of the Zoning Ordinance specifies the procedures and approval criteria for Special Land Use Permits. Use approval, site plan approval, and design review are the responsibilities of the City Commission. This section reads, in part:

Prior to its consideration of a special land use application (SLUP) for an initial permit or an amendment to a permit, the **City Commission shall refer the site plan and the design to the Planning Board for its review and recommendation. After receiving the recommendation, the City Commission shall review the site plan and design of the buildings and uses proposed** for the site described in the application of amendment.

The City Commission’s approval of any Special Land Use Permit application or amendment pursuant to this section shall constitute approval of the site plan and design.

12.0 Suggested Action

Based on a review of the site plans submitted, the Planning Division recommends that the Planning Board recommend APPROVAL to the City Commission of the applicant’s request for Final Site Plan and Design Review and Special Land Use Permit for Brooklyn Pizza to operate at 111 Henrietta and 195 W. Maple pending receipt of the following prior to appearing before the City Commission:

- 1) Provision of rooftop plans indicating all RTUs are screened on all sides in accordance with the Zoning Ordinance;
- 2) Provision of tree gate specifications indicating they will be ADA compliant;
- 3) Specification sheets for the new glass indicating a VLT of 80% or above;
- 4) Provision of plans indicating an exterior design that does not include the use of E.F.I.S.;
- 5) Provision of all specifications for all outdoor and signage lighting and a photometric plan in accordance with the Zoning Ordinance;
- 6) Provision of specifications regarding the railing material and height for the outdoor patio barrier.

13.0 Sample Motion Language

Based on a review of the site plans submitted, the Planning Board recommends APPROVAL to the City Commission of the applicant’s request for Final Site Plan and Design Review for Brooklyn Pizza at 111 Henrietta and 195 W. Maple pending receipt of the following prior to appearing before the City Commission:

- 1) Provision of rooftop plans indicating all RTUs are screened on all sides in accordance with the Zoning Ordinance;
- 2) Provision of tree gate specifications indicating they will be ADA compliant;
- 3) Specification sheets for the new glass indicating a VLT of 80% or above;
- 4) Provision of plans indicating an exterior design that does not include the use of E.F.I.S.;
- 5) Provision of all specifications for all outdoor and signage lighting and a photometric plan in accordance with the Zoning Ordinance;
- 6) Provision of specifications regarding the railing material and height for the outdoor patio barrier.

AND

Based on a review of the site plans submitted, the Planning Board recommends APPROVAL to the City Commission of the applicant's request for a Special Land Use Permit for Brooklyn Pizza at 111 Henrietta and 195 W. Maple, pending receipt of the following prior to appearing before the City Commission:

- 1) Provision of rooftop plans indicating all RTUs are screened on all sides in accordance with the Zoning Ordinance;
- 2) Provision of tree gate specifications indicating they will be ADA compliant;
- 3) Specification sheets for the new glass indicating a VLT of 80% or above;
- 4) Provision of plans indicating an exterior design that does not include the use of E.F.I.S.;
- 5) Provision of all specifications for all outdoor and signage lighting and a photometric plan in accordance with the Zoning Ordinance;
- 6) Provision of specifications regarding the railing material and height for the outdoor patio barrier.

OR

Based on a review of the site plans submitted, the Planning Board recommends to POSTPONE the applicant's request for a Final Site Plan and Design Review and a SLUP to permit Brooklyn Pizza at 111 Henrietta and 195 Henrietta until the following is submitted:

- 1) Provision of rooftop plans indicating all RTUs are screened on all sides in accordance with the Zoning Ordinance;
 - 2) Provision of tree gate specifications indicating they will be ADA compliant;
 - 3) Specification sheets for the new glass indicating a VLT of 80% or above;
 - 4) Provision of plans indicating an exterior design that does not include the use of E.F.I.S.;
 - 5) Provision of all specifications for all outdoor and signage lighting and a photometric plan in accordance with the Zoning Ordinance;
 - 6) Provision of specifications regarding the railing material and height for the outdoor patio barrier; and
-

OR

Motion to recommend DENIAL of the Final Site Plan and Design Review and a SLUP to the City Commission for Brooklyn Pizza at 111 Henrietta for the following reasons:



Special Land Use Permit Application – Bistro Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: 111 Brooklyn, Inc.
 Address: 111 Henrietta St. & 195 W. Maple St.
Birmingham, MI 48009
 Phone Number: (248) 258-6690
 Fax Number: N/A
 Email address: sambrooklynpizza@gmail.com

2. Property Owner

Name: Freund II Investment, LLC
 Address: 3985 Torrey Hill Ln.
San Diego, CA 92130
 Phone Number: (858) 232-6867
 Fax Number: N/A
 Email address: N/A

3. Applicant's Attorney/Contact Person

Name: J. Patrick Howe
 Address: 280 N. Old Woodward Ave., Suite 12
Birmingham, MI 48009
 Phone Number: (248) 385-3112
 Fax Number: (888) 450-1682
 Email address: jphowe@jphowe.com

4. Project Designer/Developer

Name: D MET Architecture + Design Attn: Joel Schmidt
 Address: 15 E. Kirby St., Suite 103
Detroit, MI 48202
 Phone Number: (313) 874-1528
 Fax Number: N/A
 Email address: dmetdesign@gmail.com

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A Certified Land Survey;
 - iv. Interior floor plans;
 - v. A Landscape Plan;
 - vi. A Photometric Plan;
 - vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if the applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 111 Henrietta St. & 195 W. Maple St.
Birmingham, MI 48009
 Name of development: Brooklyn Pizza
 Sidwell #: _____
 Current Use: Restaurant
 Proposed Use: Bistro
 Area of Site in Acres: .04
 Current zoning: B-4
 Is the property located in the floodplain? No.
 Name of Historic District Site is Located in: No.
 Date of Historic District Commission Approval: _____

Date of Application for Preliminary Site Plan: _____
 Date of Preliminary Site Plan Approval: _____
 Date of Application for Final Site Plan: _____
 Date of Final Site Plan Approval: _____
 Date of Application for Revised Final Site Plan: _____
 Date of Revised Final Site Plan Approval: _____
 Date of Design Review Board Approval: _____
 Is there a current SLUP in effect for this site? _____
 Date of Application for SLUP: _____
 Date of SLUP Approval: _____
 Date of Last SLUP Amendment: _____

7. Details of the Proposed Development (attach separate sheet if necessary)

_____The project entails the conversion of the existing computer repair store at 195 W. Maple Road into a bar _____
_____and additional seating for Brooklyn Pizza. _____

8. Buildings and Structures

Number of Buildings on Site: 1
Height of Buildings & # of Stories: 11'-6" (1 story)

Use of Buildings: Restaurant & Retail/Office
Height of Rooftop Mechanical Equipment: 15'-0" +/- above grade

9. Floor Use and Area (in Square Feet)

Structures:
Restaurant Space: 1
Office Space: 0
Retail Space: 0

Number of Residential Units: 0
Rental or Condominium? 0
Total Floor Area: 1,770 GSF

10. Proposed Bistro Operation

Number of Indoor Seats: 65
Number of Outdoor Seats: 41
Entertainment Proposed: No
Previous LCC Complaints? No
Number of Tables along Street Façade: 2 Tables + 3 Counters
Type of Cuisine: Pizza & Italian Fare

Bar Area? Yes
Number of Seats at Bar: 10
Full Service Kitchen? Yes
Percentage of Glazing Proposed: 70%
Years of Experience in Birmingham: 23
Years of Experience Outside Birmingham: 25

11. Required and Proposed Setbacks N/A - Footprint of existing building will not change

Required Front Setback: _____
Required Rear Setback: _____
Required Total Side Setback: _____

Proposed Front Setback: _____
Proposed Rear Setback: _____
Proposed Total Side Setback: _____

12. Outdoor Dining Facility

Location (sidewalk right-of-way or on-street parking space): Sidewalk Right of Way
Hours of Operation: 11 AM - 11PM seven days/wk
Width of unobstructed sidewalk between door and café? (5 ft. required): N/A - Outdoor dining is against building.
Platform Proposed: No
Trash Receptacles: Yes

Number of Tables/Chairs: 17 Tables / 41 Seats
Material of Tables/Chairs: Metal
Tables Umbrellas Height & Material: None
Number and Location of Parking Spaces Utilized: None
Screenwall Material: Custom metal railing / barrier
Enclosure Material: Not applicable

13. Required and Proposed Parking N/A - No existing parking and no parking proposed

Required number of parking spaces: _____
Location of parking on site: _____
Screenwall material: _____

Shared Parking Agreement? _____
Location of parking off site: _____
Height of screenwall: _____

14. Landscaping

Location of landscape areas: _____
(1) Hanging box planters and (5) planters are _____
_____incorporated into the patio design _____

Proposed landscape material: Flowering herbs and _____
_____other ornamental _____
_____plants. _____

15. Streetscape

Sidewalk width: 17'-0" +/- on Henrietta; 9'-0" +/- on Maple.
Number of benches: 1 existing bench
Number of planters:
Number of existing street trees: 2 existing street trees
Number of proposed street trees: No new trees.
Streetscape plan submitted? Yes.

Description of benches or planters: No new benches or planters.

Species of existing trees: Unknown to applicant.

of proposed trees: None.

16. Loading

Required number of loading spaces: 0; none required
Typical angle of loading spaces:
Screenwall material:
Location of loading spaces on site:

Proposed number of loading spaces:

Typical size of loading spaces:

Height of screenwall:

Typical time loading spaces are used:

17. Exterior Waste Receptacles

Required number of waste receptacles: 1 dumpster, existing
Location of waste receptacles: in public alley
Screenwall material:

Proposed number of waste receptacles: 1 dumpster, existing

Size of waste receptacles:

Height of screenwall:

18. Mechanical Equipment

Utilities and Transformers: N/A - No changes to existing utilities or transformers

Number of ground mounted transformers: 0
Size of transformers (L•W•H):
Number of utility easements:
Screenwall material:

Location of all utilities & easements:

Height of screenwall:

Ground Mounted Mechanical Equipment: N/A - No ground mounted mechanical equipment

Number of ground mounted units:
Size of ground mounted units (L•W•H):
Screenwall material:

Location of all ground mounted units:

Height of screenwall:

Rooftop Mechanical Equipment: No changes to existing rooftop equip.

Number of rooftop units: 2
Type of rooftop units:
Screenwall material: Painted fiber cement boards
Location of screenwall: New screening will be provided @ each unit.

Location of all rooftop units: Above each store

Size of rooftop units (L•W•H): Varies

Percentage of rooftop covered by mechanical units: 4.5%

Height of screenwall: 4'-0" +/- high

Distance from rooftop units to all screenwalls: Varies; 2'-0" +/- in most cases

19. Accessory Buildings N/A - No accessory buildings

4 Number of accessory buildings:
Location of accessory buildings:

Size of accessory buildings:

Height of accessory buildings:

20. Building Lighting No change to the existing building lighting w/ exception of 1 new down light above corner entrance.

Number of light standards on building:
Size of light fixtures (L•W•H): 7" diameter x 1"
Maximum wattage per fixture:
Light level at each property line:

Type of light standards on building:

Height from grade: 8'-0" +/-

Proposed wattage per fixture:

21. Site Lighting N/A - No sight lighting.

Number of light fixtures:
Size of light fixtures (L•W•H):
Maximum wattage per fixture:
Light level at each property line:

Type of light fixtures:

Height from grade:

Proposed wattage per fixture:

Holiday tree lighting receptacles:

22. Adjacent Properties

Number of properties within 200 ft.: 15 +/-

Property #1

Number of buildings on site: 2
 Zoning district: B-4
 Use type: Retail (Roots & West Elm) + Business offices
 Square footage of principal building: Not known to applicant
 Square footage of accessory buildings: None
 Number of parking spaces: None

Property #2

Number of buildings on site: None, parking lot
 Zoning district: B-4
 Use type: Parking
 Square footage of principal building: N/A
 Square footage of accessory buildings: N/A
 Number of parking spaces: 23 +/-

Property #3

Number of buildings on site: 2
 Zoning district: B-4
 Use type: Retail (Anthropology) + Mixed-use
 Square footage of principal building: Not known to applicant
 Square footage of accessory buildings: None
 Number of parking spaces: None

Property #4

Number of buildings on site: 1
 Zoning district: B-4
 Use type: Retail (Blue Mercury & Lyudviga Couture)
 Square footage of principal building: Not known to applicant
 Square footage of accessory buildings: None
 Number of parking spaces: None

Property #5

Number of buildings on site: 1
 Zoning district: B-4
 Use type: Retail (Shades Optical)
 Square footage of principal building: Not known to applicant
 Square footage of accessory buildings: None
 Number of parking spaces: None

Property #6

Number of buildings on site: 1
 Zoning district: B-4
 Use type: Business (AT+T)
 Square footage of principal building: Not known to applicant
 Square footage of accessory buildings: None
 Number of parking spaces: None

Property Description: 1-story retail building occupying
211 and 215 W. Maple, located
across Henrietta from proposed
bistro + 3-story office building @
240 Martin
 North, south, east or west of property? West

Property Description: 23 +/- parking lot located
behind 211 and 215 W.
Maple
 North, south, east or west of property? West

Property Description: 1-story retail building occupying 214
W. Maple, located across W. Maple
from bistro + 3-story mixed-use
building occupying 240 thru 284 W.
Maple
 North, south, east or west of property? North

Property Description: 1-story retail building
occupying 168 and 172 W.
Maple, located across bistro
 North, south, east or west of property? North

Property Description: 1-story retail building
occupying 193 W. Maple,
located next to bistro
 North, south, east or west of property? East

Property Description: Multi-story office building
occupying lot @ northeast
corner of Henrietta and
Martin, located across alley
from bistro
 North, south, east or west of property? South

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: Robert A. Freund Date: 7.16.19

Print Name: Robert A. Freund, Managing Member

Signature of Applicant: [Signature] Date: 9-16-19

Print Name: Hani A. Abdelfatah

Signature of Architect: _____ Date: _____

Print Name: Joel Schmidt

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: _____ Date: _____

Print Name: _____

Signature of Applicant: _____ Date: _____

Print Name: Hanı A. Abdelfatah

Signature of Architect: Joel T. Schmidt Date: July 15, 2019

Print Name: Joel Schmidt, Architect D MET studio

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____



SPECIAL LAND USE PERMIT APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: 111 Brooklyn, Inc. d/b/a Brooklyn Pizza Case #: _____ Date: _____

Address: 111 Henrietta St. & 195 W. Maple Rd. Project: Brooklyn Pizza SLUP for Opration of Bistro

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Site Plan for Special Land Use Permit

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Aerial photographs of the subject site and surrounding properties;
- ___ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ___ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ___ 11. Interior floor plans;
- ___ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");
- ___ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;

- ___ 14. Existing and proposed utilities and easements and their purpose;
- ___ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ___ 16. General description, location, and types of structures on site;
- ___ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ___ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 19. Elevation drawings showing proposed design;
- ___ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ___ 21. Location of all exterior lighting fixtures;
- ___ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ___ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ___ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ___ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ___ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ___ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 29. A list of any requested design changes;
- ___ 30. Itemized list and specification sheets of all materials, light fixtures, and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ___ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ___ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

CONTRACT FOR TRANSFER OF A LIQUOR LICENSE
(BISTRO)

This Contract is entered into this ____ day of _____ (month), ____ (year), by and between
111 Brooklyn, Inc. _____, whose address is 111 Henrietta St., Birmingham, MI _____, (Licensee) and the **CITY OF BIRMINGHAM**, a Michigan Municipal Corporation, whose address is 151 Martin Street, Birmingham, Michigan 48012 (City).

RECITALS:

apply for a new Class C Liquor License under MCL 436.1531a(1)(B) and new SDM Liquor License

WHEREAS, Licensee wishes to transfer the location of its liquor license from _____ to hold at
111 Henrietta St. & 195 W. Maple St., Birmingham, Michigan (Property); and

issuance

WHEREAS, local legislative approval is required by the **CITY OF BIRMINGHAM** for the transfer of a
Class C _____ liquor license pursuant to MCLA §436.1501 of the Michigan Liquor Control Code of
1998; and _____ and MCL 426.1521a

WHEREAS, Licensee desires to enter into this Contract as an inducement to the **CITY OF BIRMINGHAM**
to approve the request of the aforementioned transfer of the liquor license; and,
^ application

WHEREAS, the **CITY OF BIRMINGHAM** is relying upon this Contract in giving its approval to the transfer-
of the on-premises licenses as described herein. ^ application

NOW, THEREFORE, the parties agree as follows:

obtain a Class C Liquor License under MCL 436.1521a(1)(B) for use at

1. Licensee shall be permitted to transfer the location of its liquor license from _____ to the
Property. Any transfer of the aforementioned license from the Property to any other location in the CITY OF
BIRMINGHAM shall require the approval of the Birmingham City Commission in accordance with Section 10-
83. In addition, any expansion of the building location at the Property shall also require the approval of the
Birmingham City Commission.

2. Licensee does hereby agree that it shall establish a bistro, as defined in Birmingham City Code Chapter 126,
Zoning, Article 9, section 9.02, at the Property.

3. Licensee further acknowledges that it must secure a Special Land Use Permit for a bistro as required by the
Birmingham City Code. It is further agreed that it shall comply with all provisions of the Special Land Use
Permit or any amendments thereto, as a condition of this contract. Licensee further acknowledges and agrees
that a violation of any provision of the Special Land Use Permit or the Michigan Liquor Control Code is a
violation of the terms of the contract entitling the City to exercise any or all of the remedies provided herein.

4. Licensee further agrees that it shall not apply or seek from the Michigan Liquor Control Commission any
permit endorsements to its liquor license whether available in the current Michigan Liquor Control Code or in
future Michigan Liquor Control Codes, or amendments thereto, without the prior approval of the Birmingham
City Commission.

5. Licensee further agrees that it shall not seek any change in its license status/class whether such changes are
available now in the current Michigan Liquor Control Code or in future Michigan Liquor Control Codes, or
amendments thereto, without prior approval of the Birmingham City Commission.

6. Licensee agrees that it shall adhere to all Federal, State and Local laws currently in effect or as subsequently
amended or enacted.

7. Licensee agrees that its failure to follow any of the provisions herein shall be grounds for the Michigan Liquor Control Commission to suspend, revoke or not renew its liquor license and/or for the Birmingham City Commission to revoke the Special Land Use Permit, either of which would prohibit Licensee from operating the bistro. Licensee agrees that in addition to the City of Birmingham's right to seek suspension, revocation or non-renewal of its liquor license and/or revocation of the special land use permit, the City retains any and all rights to enforce this Contract that may be available to it in law or in equity. Licensee further agrees that it shall reimburse the City all of its costs and actual attorney fees incurred by the City in seeking the suspension, revocation or non-renewal of its liquor license and revocation of the Special Land Use Permit, as well as enforcing such other rights as may be available at law and/or in equity.

8. To the fullest extent permitted by law, Licensee and any entity or person for whom Licensee is legally liable, agrees to be responsible for any liability, defend, pay on behalf of, indemnify, and hold harmless the City, its elected and appointed officials, employees and volunteers and others working on behalf of the City against any and all claims, demands, suits, or loss, including all costs connected therewith, including all costs and actual attorney fees, and for any damages which may be asserted, claimed or recovered against or from the City, its elected and appointed officials, employees, volunteers or others working on behalf of the City, by reason of personal injury, including bodily injury, death and/or property damage, including loss of use thereof, which arises out of or is in any way connected or associated with Licensee's operation of a bistro at the Property.

9. In the event Licensee fails to reimburse the City the costs and/or attorney fees as required herein, or any part thereof, then said amount could be transferred to the tax roll in accordance with Section 1-14 of the Birmingham City Code.

10. Any disputes arising under this Contract, not within the jurisdiction of the Michigan Liquor Control Commission, shall be settled either by commencement of a suit in Oakland County Circuit Court or by compulsory arbitration, at the election of the City. The Licensee shall notify the City of any dispute it has arising out of this Contract and shall demand that the City elect whether the dispute is to be resolved by submitting it to compulsory arbitration or by commencement of a suit in Oakland County Circuit Court. The City shall make its election in writing within thirty (30) days from the receipt of such notice. If the City elects to have the dispute resolved by compulsory arbitration, it shall be settled pursuant to Chapter 50 of the Revised Judicature Act for the State of Michigan, with each of the parties appointing one arbitrator and the two thus appointed appointing a third. In the event the City fails to make such an election, any dispute between the parties may be resolved by the filing of a suit in the Oakland County Circuit Court.

11. This Contract shall be governed by and performed, interpreted and enforced in accordance with the laws of the State of Michigan.

12. If any provision of this contract is declared invalid, illegal or unenforceable, such provision shall be severed from this contract and all other provisions shall remain in full force and effect.

13. This Contract shall be binding upon and apply and inure to the benefit of the parties hereto and their respective successors or assigns. The covenants, conditions, and the agreements herein contained are hereby declared binding on the CITY OF BIRMINGHAM and Licensee. It is further agreed that there shall be no change, modification, or alteration hereof, except in writing, signed by both of the parties hereto. Neither party shall assign any of the rights under this contract without prior approval, in writing, of the other. Any attempt at assignment without prior written consent shall be void and of no effect.

IN WITNESS WHEREOF, the parties hereby have executed this Contract as of the date set forth above.

111 Brooklyn, Inc.

By: _____
Hani A. Abdelfatah

Its: President _____

Date: _____

CITY OF BIRMINGHAM

By: _____
, Mayor

Date: _____

By: _____
, Clerk

Date: _____



Notice Signs - Rental Application Community Development

1. Applicant

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

Property Owner

Name: _____
Address: _____

Phone Number: _____
Fax Number: _____
Email address: _____

2. Project Information

Address/Location of Property: _____
Name of Development: _____
Area in Acres: _____

Name of Historic District site is in, if any: _____
Current Use: _____
Current Zoning: _____

3. Date of Board Review

Board of Building Trades Appeals: _____
City Commission: _____
Historic District Commission: _____
Planning Board: _____

Board of Zoning Appeals: _____
Design Review Board: _____
Housing Board of Appeals: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: _____ Date: _____

Office Use Only

Application #: _____ Date Received: _____ Fee: _____
Date of Approval: _____ Date of Denial: _____ Reviewed by: _____

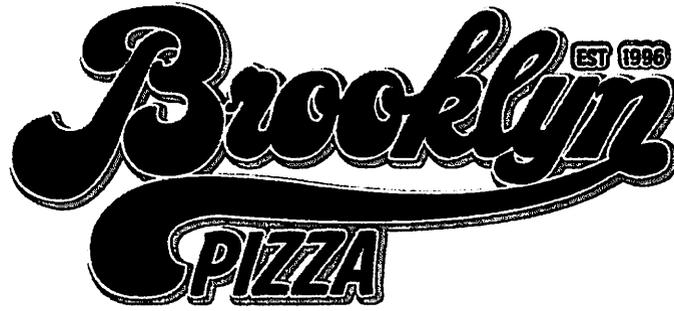


Fee Schedule

Administrative Approval	\$100
Board of Zoning Appeals* <ul style="list-style-type: none"> • Single Family Residential • All Others 	\$310 \$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Lot Division*	\$200 / parcel affected
Historic District Review* <ul style="list-style-type: none"> • Single Family Residential District • All other zone districts 	No charge \$350
Public Notice Sign	\$100 / refundable deposit \$50 fee
Site Plan Review* <ul style="list-style-type: none"> • R4 through R8 zone district • Nonresidential districts 	\$850 plus \$50 per dwelling unit \$1,050 plus \$50 per acre or portion of acre
Special Land Use Permit* <ul style="list-style-type: none"> • Plus Site Plan Review • Plus Design Review • Plus Publish of Legal Notice • Plus sign rental and deposit 	\$800 \$1,050 \$350 \$450 \$150 Total fee: \$2,800
Special Land Use Permit Annual Renewal Fee	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

The fees for Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.

Ordinance No. 1751 (Appendix A, Section 7.38 of the Birmingham City Code)



City of Birmingham 2019 Bistro Application

Applicant: 111 Brooklyn, Inc. d/b/a Brooklyn Pizza
111 Henrietta St., Birmingham, MI 48009

Current Location: 111 Henrietta St., Birmingham, MI 48009

Proposed Location: 111 Henrietta St. **AND** 195 E. Maple Rd.
(currently Birmingham Geek Computer Repair)

Applicant's Representative: Sam Abdelfatah, Owner
111 Henrietta St., Birmingham, MI 48009
ph. (248) 709-1354

Applicant's Attorney: JPHOWE, PLLC / J. Patrick Howe
280 N. Old Woodward Ave., Suite 12, Birmingham, MI 48009
ph. (248) 385-3112

Applicant's Architect: D MET Architecture + Design / Joel Schmidt
15 E. Kirby, Suite 103, Detroit, MI 48202
ph. (313) 874-1528

History of Brooklyn Pizza

Authentic Goodness, Fresh from Brooklyn

Since 1996, Brooklyn Pizza has offered the residents and visitors of Birmingham, authentic, wood-fired pizza that tastes like it comes directly from Brooklyn, New York. That's because it has. Our founders came from Brooklyn and created comfortable local pizzerias modeled after those you'd find nestled in New York. Each delicious pizza is handcrafted using the freshest ingredients and then expertly cooked over an open flame in a wood-burning stove that was developed by a renowned Italian-born engineer. The result is pizza that is aromatic, smoky, flavorful and downright delicious. Owner Sam Abdelfatah is ready to take Brooklyn Pizza to the next level, by converting Brooklyn Pizza to a Bistro. The new Brooklyn Pizza will maintain the same authentic family friendly atmosphere, but in an expanded restaurant setting that offers a wider selection of menu items, and a select assortment of alcoholic beverages.

Restaurant Experience

The team at Brooklyn Pizza has been at it in their current location since 1996, and also operates a second location in Troy, Michigan. Owner Sam Abdelfatah brings over 25 years of experience to the operation of Brooklyn Pizza, and is a true-hands on operator. Sam will be the face and the leader of the new Brooklyn Pizza, and will ensure that the expanded operations are executed in a professional and responsible manner.

Concept for Bistro

Brooklyn Pizza has been known as family establishment open seven days a week for lunch, dinner, or quick bite to eat. It looks to maintain that identify, while expanding its menu offerings, and growing its footprint to attract more on-premise dining. Its traditional by the slice and take out operations will remain intact in the existing footprint of the restaurant. It seeks to connect the existing restaurant to the neighboring space at 195 E. Maple Rd., which is currently occupied by Birmingham Geek Computer Repair. In the neighboring space, it will offer a small bar with no more than 10 bar stools, and additional indoor seating that will not exceed 65 seats. A conceptual floor plan of the combined spaced is attached on page 5.

The bar area will be for dining and socializing. There will not be televisions installed in the bar area, as Brooklyn Pizza desires to maintain its true family atmosphere, and not evolve into a bar. Brooklyn Pizza also envisions creating a larger outdoor dining area on the right of way abutting Henrietta St., as shown on the attached conceptual floor plan. Brooklyn Pizza already activates Henrietta St. with its operations (especially during the outdoor dining season), and by expanding to the neighboring space at 195 E. Maple St., Brooklyn Pizza will help activate Maple St. A second entrance on Maple St. will create more foot traffic for the retail businesses along Maple St., and will contribute to the vitality of this downtown corridor. In keeping with the City of Birmingham Bistro ordinance, there will be one bar, no dancing or entertainment of any kind, tables will align the windows facing Maple St. and Henrietta St., and the restaurant will meet the Bistro glazing requirements.

Statement Regarding Impact Bistro Will Have on Mix of Commercial Uses in Birmingham

Birmingham is a family town that can be enjoyed by all generations, and that is what Brooklyn Pizza is all about. The new Brooklyn Pizza will be a true family friendly Bistro, where young children can laugh with their grandparents, and enjoy delicious Italian offerings. It will now also be a spot for mom and dad to enjoy a glass of wine on a Friday night while their children enjoy the homemade Italian gelato after finishing their coveted cheese pizza. That is what is envisioned for the new Brooklyn Pizza - a casual family friendly Bistro, which is at times hard to find in the ever growing and evolving Birmingham dining landscape.

Sample Menu & Price Point

Brooklyn Pizza currently offers a delicious selection of gourmet wood-fired pizzas, fresh salads, flavorful appetizers and snacks, and homemade Italian gelato. Our delicious, wood-fired round pizzas are handcrafted using only the finest and freshest ingredients, including homemade

tomato sauce, all-white meat chicken, dolphin-safe tuna, and beef pepperoni and sausage. From plain cheese to primavera, there's a pizza to please every person. All Brooklyn Pizzas are available in 10" round or 16" round, and most varieties are also available by the slice. The price point for all Brooklyn Pizza items is very reasonable, and is in line with similar establishments in the marketplace. If Brooklyn Pizza is approved to operate as a Bistro, it will expand upon its current menu to offer a new selection of items as outlined in the chart below:

<u>Existing Menu Items</u>	<u>Bistro Menu Items</u>
<u>Pizzas</u> Cheese Pepperoni Four Cheese Barbecued Chicken Brooklyn Signature Greek Primavera Spicy Mexican Margherita 3 Mushroom Cheese Buffalo Chicken Prosciutto & Arugula <u>Salads</u> Mixed Greens Greek Antipasto Prosciutto & Melon Greens & Gorgonzola <u>Paninis</u> El Cubano South of France Portobello Cap <u>Appetizers</u> Chicken Pesto Bites Garlic Knots Greek Veggie Bites Pepperoni Bites <u>Dessert</u> Homemade Italian Gelato <u>Beverages</u> Assortment of iced teas, soft drinks, and juices	<u>Pizzas</u> No Changes <u>Salads</u> No Changes <u>New Sandwiches</u> Chicken Parmesan Philly Cheesesteak Hamburger Sliders <u>New Appetizers</u> Chicken Wings Mac N Cheese Bites Carrots & Hummus <u>New Dessert</u> Homemade Cookies Italian Zeppole <u>New Beverages</u> Sparkling Water Cappuccino Espresso Wine by the glass Beer by the bottle Beer on Tap (4-8 varieties) Limited Selection of Traditional Mixed Spirit Drinks

Hours of Operation

11:00 AM – 11: 00 PM daily

Outdoor Patio will be open when weather permits from May 1 – October 31 each year

Renovation Schedule

Renovations on the adjacent space located at 195 E. Maple Rd. (currently Birmingham Geek Computer Repair) would commence in August 2019, and would be completed in early November 2019. The existing Brooklyn Pizza restaurant located at 111 Henrietta St. would close for renovations in early November 2019. The two completely renovated spaces would be connected, and open to the public as a Bistro in mid-late November 2019.

Statement Regarding Ability to Finance, Construct & Operate Bistro

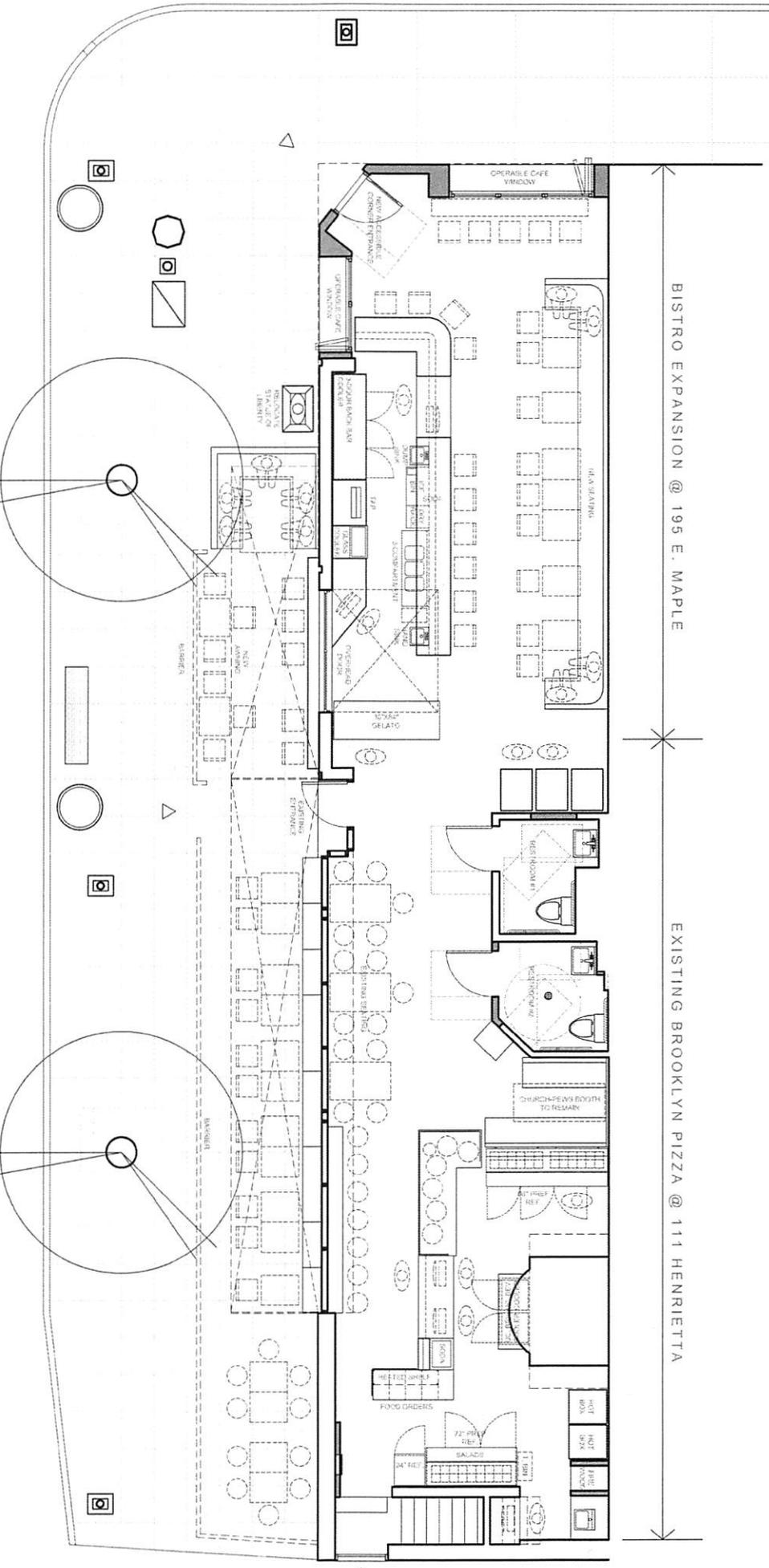
Brooklyn Pizza has assembled an experienced team that has the expertise and experience to plan, construct, open and operate a Bistro in the City of Birmingham. All renovations will be funded with cash on hand, and the proposed conversion of Brooklyn Pizza to a Bistro is not contingent on obtaining financing of any kind. Brooklyn Pizza has engaged a prominent local architect to assist with the design of the Bistro, and an experienced licensed contractor will be engaged to complete all construction. With respect to restaurant operations, owner Sam Abdelfatah brings over 25 years of experience to the operation of Brooklyn Pizza, and his very experienced staff will ensure that the Bistro is run in a professional and responsible manner. All employees involved in the sale and service of alcoholic beverages will be required to pass a server training course approved by the Michigan Liquor Control Commission.

BROOKLYN PIZZA, BIRMINGHAM EXPANSION

ISSUED: 3/29/11

SCALE: SCALED TO FIT 8.5X14

PREPARED BY D MET



BISTRO EXPANSION @ 195 E. MAPLE

EXISTING BROOKLYN PIZZA @ 111 HENRIETTA



280 N. Old Woodward
Suite 12
Birmingham, MI 48009

O 248.385.3112

C 248.835.2068

F 888.450.1682

jphowe@jphowe.com

www.jphowe.com

October 17, 2019

VIA EMAIL ONLY

Birmingham Planning Board
c/o Ms. Jana Ecker
Planning Director
City of Birmingham
151 Martin St.
Birmingham, MI 48009

Re: Special Land Use Permit Application to Operate a Bistro
Applicant: 111 Brooklyn, Inc. d/b/a Brooklyn Pizza
Address: 111 Henrietta St. & 195 W. Maple Rd.
Birmingham, MI 48009

Dear Members of the Birmingham Planning Board,

On behalf of 111 Brooklyn, Inc. d/b/a Brooklyn Pizza (“Brooklyn Pizza”), we hereby submit this letter in support of our Client’s Special Land Use Application to operate a Bistro (the “SLUP Application”). Since 1996, Brooklyn Pizza has offered the residents and visitors of Birmingham, authentic, wood-fired pizza in a welcoming family environment. Owner Sam Abdelfatah is ready to take Brooklyn Pizza to the next level, by converting Brooklyn Pizza into a Bistro, and expanding the restaurant into the adjacent suite located at 195 W. Maple Rd. The new Brooklyn Pizza will maintain the same authentic family friendly atmosphere, but in an expanded restaurant setting that will offer a wider selection of menu items, and a select assortment of alcoholic beverages.

This Birmingham City Commission unanimously authorized Brooklyn Pizza to move forward with a formal Bistro Application at a public hearing on April 22, 2019 after reviewing the selection criteria outlined in Section 10-82 of the Birmingham City Code (the “Code”). Our Client has applied to the Michigan Liquor Control Commission for a new Class C liquor license under MCL 436.1521a(1)(b) within the City of Birmingham’s Principal Shopping District, and has applied to the City Commission for local approval of its liquor license application by filing the appropriate application documents with the Birmingham Police Department. Our Client now comes to the Birmingham Planning Board requesting a recommendation of approval of its SLUP Application, and hopes that the City Commission will concur with a positive recommendation from the Planning Board, and approve its SLUP Application.

The standards for approving a Special Land Use Permit to operate a Bistro are set forth in the Code and the Birmingham Zoning Ordinance. We submit that our Client meets the requirements set forth in Section 126, Article 7 of the Birmingham Zoning Ordinance for the following reasons:

- (1) 7.336(A)(1). “The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.”

RESPONSE: Brooklyn Pizza has been a dining destination in the City of Birmingham since 1996, and has established itself as an appropriate and thriving use within the City’s Principal Shopping District. Completely renovating the restaurant, expanding its footprint, and expanding its menu offerings to add additional food items and a select assortment of alcoholic beverages, is consistent with the intent of the Birmingham Zoning Ordinance and the City’s 2016 Master Plan. Converting Brooklyn Pizza to a Bistro will increase the vitality of the Maple Rd. corridor, and will attract additional patrons to downtown Birmingham to enjoy Brooklyn Pizza, and visit the many nearby retail establishments within this district of the City.

- (2) “The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of the public services and facilities effected by the land use.”

RESPONSE: Brooklyn Pizza has established itself as being compatible with the surrounding land and uses in this district of the City. Furthermore, it is not a drain on the City or its public services. Expanding the restaurant and adding the service of alcoholic beverages will not disrupt any surrounding land uses or be a drain on the City or its public services, insofar as the service of alcohol will complement the service of food, and will comprise a very small percentage of the establishment’s overall sales. The hours of operation of the business will not detrimentally impact any surrounding landowners. While the outdoor patio will be renovated and expanded, the existing outdoor patio has been an appropriate fit in this area of the City for many years, and it will continue to add to patrons’ enjoyment of the restaurant, and the vitality of the Henrietta St. corridor.

- (3) “The use is consistent with public health, safety and welfare of the city.”

RESPONSE: Brooklyn Pizza has been operated in a safe and responsible manner for many years, and it will continue to be operated that way. Public health, safety and welfare is vitally important to Brooklyn Pizza, and it will ensure that the public health, safety and welfare of its patrons, neighbors, and other stakeholders in the City is not compromised in any way by its operation of a Bistro. All managers will complete and pass a state recognized alcohol server training program.

- (4) “The use is in compliance with all other requirements of the zoning ordinance.”

RESPONSE: The conversion of this long-standing restaurant into a Bistro will be operated in full compliance with the City’s Zoning Ordinance, and the use is consistent with the goals of the City of Birmingham Principal Shopping District. Brooklyn Pizza will

comply with all mandates and responsibilities applicable to the holder of a Special Land Use Permit within the City of Birmingham.

(5) “The Use Will Not Be Injurious to the Surrounding Neighborhood.”

RESPONSE: The operation of Brooklyn Pizza has not been injurious to the surrounding neighborhood for many years. Converting this restaurant into a Bistro will benefit the surrounding neighborhood, and it will not be operated in a way that will negatively impact the surrounding neighborhood in any way.

(6) “The Establishment is not in violation of any State or Federal Statutes.”

RESPONSE: Brooklyn Pizza is not in violation of any state laws or federal statutes, and will comply with all applicable local, state and federal laws, regulations and ordinances if the restaurant is operated as a Bistro.

* * *

We submit that our Client meets the liquor license approval conditions set forth in Section 10-42 of the Code in that:

(1) “An applicant will be given consideration only if he proposes to provide and continues to provide for the service of meals to be consumed on the premises.”

RESPONSE: Brooklyn Pizza will continue to provide regular dine in, take out, and delivery meal service for lunch and dinner. It will also provide new menu offerings and a selection of beer, wine and spirits in a completely renovated and expanded restaurant.

(2) “The location proposed, and methods of operation must not detrimentally and unreasonably impact nearby property owners, businesses and residents.”

RESPONSE: Brooklyn Pizza has operated a successful restaurant within the City of Birmingham for many years, and has never been a detriment to nearby property owners, businesses or residents. The renovated and expanded Brooklyn Pizza with new menu offerings and a selection of beer, wine and spirits, will continue to be a great destination in downtown Birmingham, and will improve the dining experience for nearby property owners, businesses and residents.

(3) “All applicable health and safety codes and ordinances, including zoning, must be met.”

RESPONSE: Brooklyn Pizza in its current format complies with the City’s Zoning Ordinance, and all applicable health and safety codes and ordinances will be met before the renovated and expanded restaurant opens for business with the service of alcoholic beverages.

- (4) “Applicants will be required to submit a detailed plan of proposed operation as part of their application for transfer, which shall include a plot plan of the site, a plan for any proposed change in exterior and interior design, lay-out of any proposed change to ancillary facilities and a general operational statements outlining the proposed manner in which the establishment will be operated, including a schedule of the hours of operation, crowd control plans, use of the facility, parking provisions and the estimated cost of any proposed improvements.”

RESPONSE: The site plan and floor plans for the renovated restaurant have been filed with the City in connection with our Client’s Special Land Use Application to operate a Bistro. Hours of operation for the renovated restaurant will be 11AM-11PM seven (7) days per week. Alcoholic beverages will be available for purchase during all hours in which the restaurant is open to the public. The operation of the restaurant will be similar to how it is currently operated. Guests will order food and beverages (including alcoholic beverages) at the ordering counter. A sample menu is attached hereto. When ready, food and non-alcoholic beverages will be picked up at the food ordering counter. Alcoholic beverages, if ordered, will be picked up at the small bar located within the restaurant by providing proof of purchase to the bartender. Identification for guests ordering alcoholic beverages will be checked when the alcoholic beverages are ordered, and the guest’s identity will be confirmed when the alcoholic beverages are served to ensure that only persons above 21 order and consume alcoholic beverages within the restaurant. Guests may consume food and beverages on the outdoor patio adjacent to the restaurant by taking the ordered food and beverages onto the patio. Staff will operate the food ordering counter and the bar. There will not be any waiter service within the restaurant, unless a guest places a large order, or needs assistance transporting their food and beverages to their table. Brooklyn Pizza will also operate its traditional takeout and delivery service. Food along with packaged beer and wine may be purchased for off-premise consumption under the SDM liquor license that our Client has requested.

* * *

We submit the following in response to the application details that must be addressed under Section 10-81 of the Code:

- (1) “Utilization of said liquor licenses and details on the number of quota liquor licenses in escrow at the time of application”

RESPONSE: There are no quota liquor licenses available for issuance in the City of Birmingham. There are four (4) on-premise liquor licenses in escrow in Birmingham, which based on the lack of responses to our written inquiries, are not available for purchase.

- (2) “Proposed and/or existing site plan of the property, building floor plan and an operations floor plan”

RESPONSE: The site plan and floor plans for the renovated and expanded restaurant have been filed with the City Planning Department.

- (3) “A copy of the special land use permit application and supporting documentation submitted by the applicant.”

RESPONSE: The special land use permit application and supporting documentation has been filed with the City Planning Department.

- (4) “All documentation submitted to the LCC requesting the transfer.”

RESPONSE: Our client’s application to the MLCC has been filed with the Birmingham Police Department.

- (5) “Full identification and history of the license holder(s) as it pertains to the license proposed to be transferred, including all complaints filed with the state liquor control commission (LCC) or actions taken by any municipality or the LCC to suspend, revoke, deny or the non-renewal of said license and all other documentation setting forth the detail of the bistro layout proposed by the applicant.”

RESPONSE: The applicant is applying for a *new* Class C liquor license under MCL 436.1521a(1)(b), so there is no identification and history of the current license holder to report. The applicant has never held a liquor license in the State of Michigan. However, based on our Client’s track record of operating a very reputable restaurant within the City of Birmingham for many years, we submit that it is qualified to operate an expanded restaurant with additional menu offerings with alcoholic beverages.

- (6) “Such other items deemed necessary by city administration.”

RESPONSE: The undersigned along with the owner of Brooklyn Pizza, Sam Abdelfatah, and his architect, will be available to address any questions regarding this application at the City Commission hearing wherein this application is considered.

* * *

We submit the following in response to the criteria that must be met in order to be approved to operate a Bistro under Section 10-82 of the Code:

- (1) The applicant's demonstrated ability to finance the proposed project.

RESPONSE: Brooklyn Pizza has secured the funding to complete the proposed renovations and expansion.

- (2) The applicant's track record with the city including responding to City and/or citizen concerns.

RESPONSE: Brooklyn Pizza has an excellent operating record with the City, and will immediately respond to any City or Citizen concerns arising out of the operation of a Bistro.

- (3) Whether the applicant has an adequate site plan to handle the bistro liquor license activities.

RESPONSE: The proposed site plan and floor plan are adequate to operating the proposed Bistro activities.

- (4) Whether the applicant has adequate health and sanitary facilities.

RESPONSE: The restaurant is completely renovating its public restrooms, and the kitchen will be updated to comply with all applicable laws and ordinances.

- (5) The establishment's location in relation to the determined interest in the establishment of bistros in the overlay district and the Triangle district.

RESPONSE: The addition of a Bistro to this area of the City's Principal Shopping District will contribute to the vitality of the Maple Rd. corridor, and will attract additional patrons to downtown Birmingham to enjoy Brooklyn Pizza, and visit the many nearby retail establishments within this district of the City.

- (6) The extent that the cuisine offered by applicant is represented in the city.

RESPONSE: The cuisine offered by the City is loved by City residents, and will just get better if the restaurant is converted to a Bistro.

- (7) Whether the applicant has outstanding obligations to the city (i.e., property taxes, utilities, etc.).

RESPONSE: Brooklyn Pizza is current and in good standing with respect to all obligations to the City and utility providers.

We appreciate you considering this letter in connection with your review of our Client's SLUP Application. Should you have any questions or concerns regarding this project, please do not hesitate to contact me. We look forward to appearing before you on October 23rd.

Very truly yours,

JPHOWE, PLLC

J. Patrick Howe



Proposed Menu

If Brooklyn Pizza is approved to operate as a Bistro, it will expand upon its current menu to offer a new selection of items as outlined in the chart below:

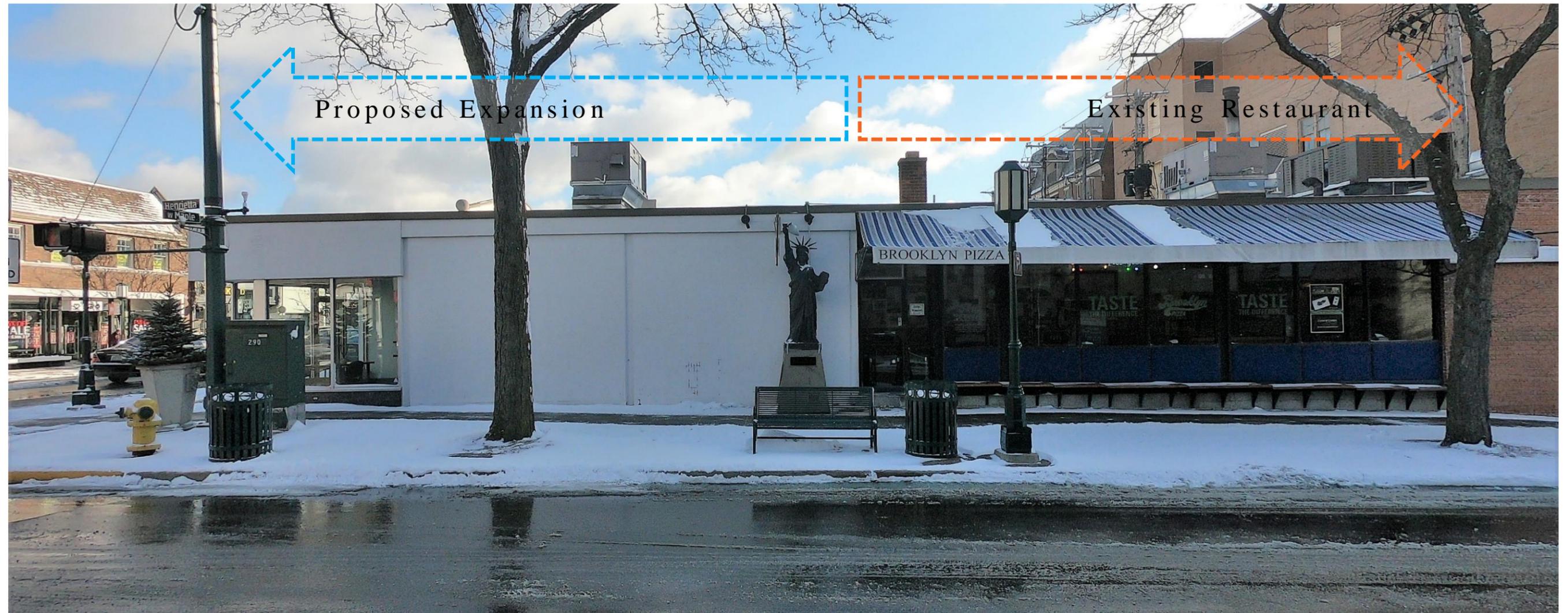
<u>Existing Menu Items</u>	<u>Bistro Menu Items</u>
<u>Pizzas</u> Cheese Pepperoni Four Cheese Barbecued Chicken Brooklyn Signature Greek Primavera Spicy Mexican Margherita 3 Mushroom Cheese Buffalo Chicken Prosciutto & Arugula <u>Salads</u> Mixed Greens Greek Antipasto Prosciutto & Melon Greens & Gorgonzola <u>Paninis</u> El Cubano South of France Portobello Cap <u>Appetizers</u> Chicken Pesto Bites Garlic Knots Greek Veggie Bites Pepperoni Bites <u>Dessert</u> Homemade Italian Gelato <u>Beverages</u> Assortment of iced teas, soft drinks, and juices	<u>Pizzas</u> No Changes <u>Salads</u> No Changes <u>New Dessert</u> Homemade Cookies Italian Zeppole <u>New Beverages</u> Sparkling Water Cappuccino Espresso Wine by the glass Beer by the bottle Beer on Tap (4-8 varieties) Limited Selection of Traditional Mixed Spirit Drinks

September 17, 2019

BROOKLYN PIZZA
SPECIAL LAND USE PERMIT APPLICATION – BISTRO
DESIGN SUPPLEMENT

SUBMITTED BY
111 Brooklyn, Inc
111 Henrietta St. & 195 W. Maple St.
Birmingham, MI 48009

Existing Site Photographs – Street View



View of the existing restaurant and adjacent storefront (as seen from Henrietta Street)

Existing Site Photographs – Street View



View of the existing restaurant from southwest corner of site



View of the existing outdoor dining area on Henrietta Street

Existing Site Photographs – Street View

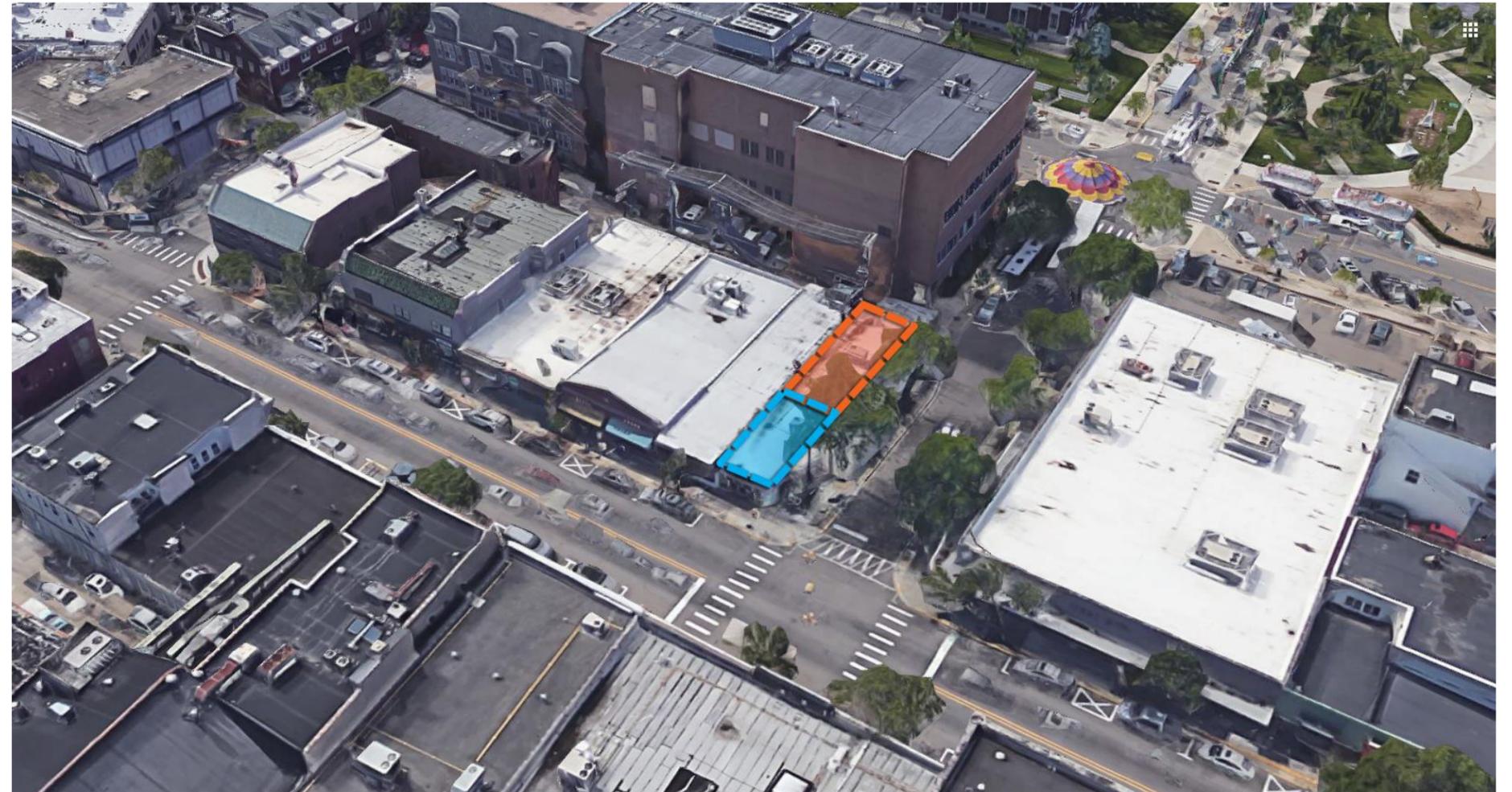
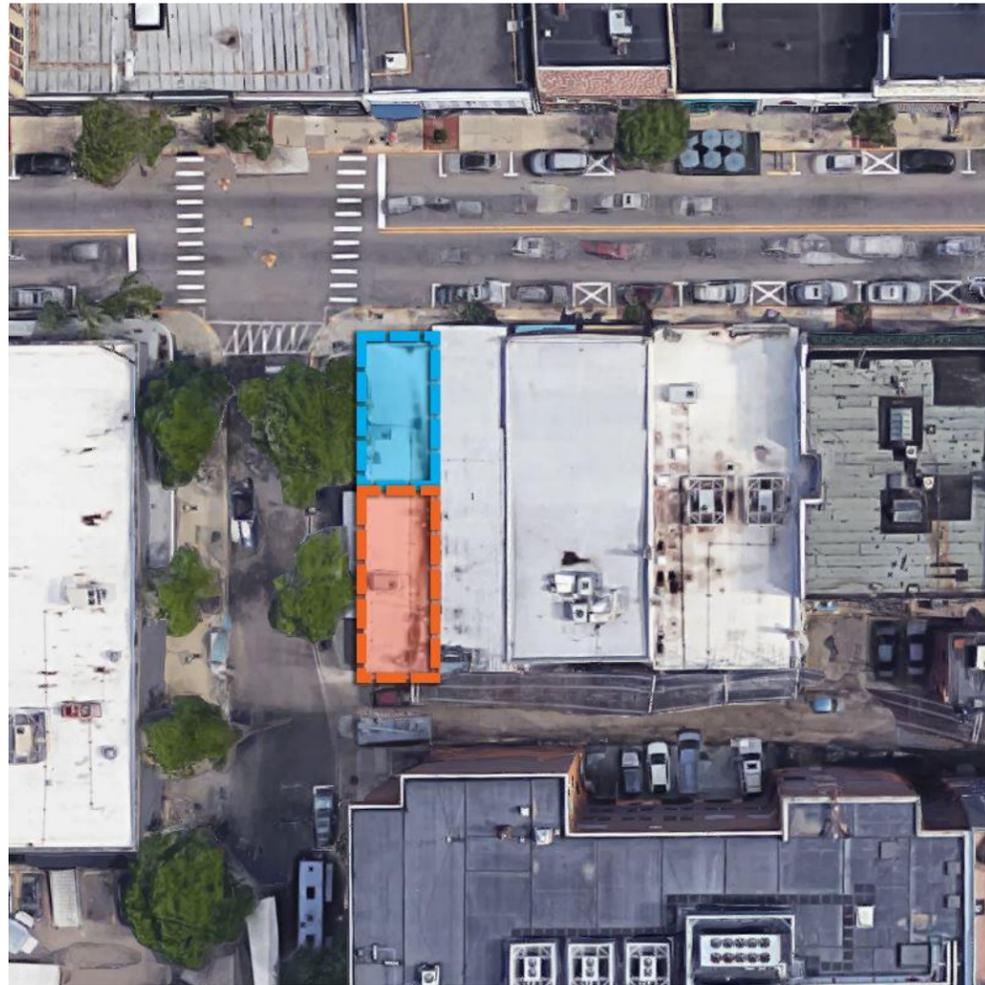


View of adjacent storefront from the northwest corner of the site



View of existing adjacent storefront on West Maple Road

Existing Site Photographs – Aerial Views



View of the **existing restaurant** and the **new addition**

Existing Site Photographs – Aerial Views



View of the **existing restaurant**, the **new addition**, and the rooftop equipment

DESIGN SUPPLEMENT

Chapter 1 - Building Façades

Building Façades – Colored Exterior Elevations

Paint Scheme / Color Palette

- 
 Sherwin-Williams
High Reflective White SW 7757
 RGB: 247 247 241
- 
 Sherwin-Williams
Ceiling Bright White SW 7007
 RGB: 233 235 231
- 
 Sherwin-Williams
Caviar SW 6990
 RGB: 49 48 49
- 
 Sherwin-Williams
Honorable Blue SW 6811
 RGB: 22 69 118
- 
 Sherwin-Williams
In the Navy SW 9178
 RGB: 40 56 73



South Elevation (Public Alley)



North Elevation (Maple Road)



West Elevation (Henrietta Street)

Building Façades – Street View



View of new entrance

Building Façades - Material Samples + Miscellaneous Details



8mm Minerit HD Cement Fiber - Unpainted



Painted Cement Fiber Board Rainscreen/Siding



Clear Anodized Storefront Windows



Example of Overhead Bi-fold Window

Building Façades – The Use of Cement Fiber Board in Historic District



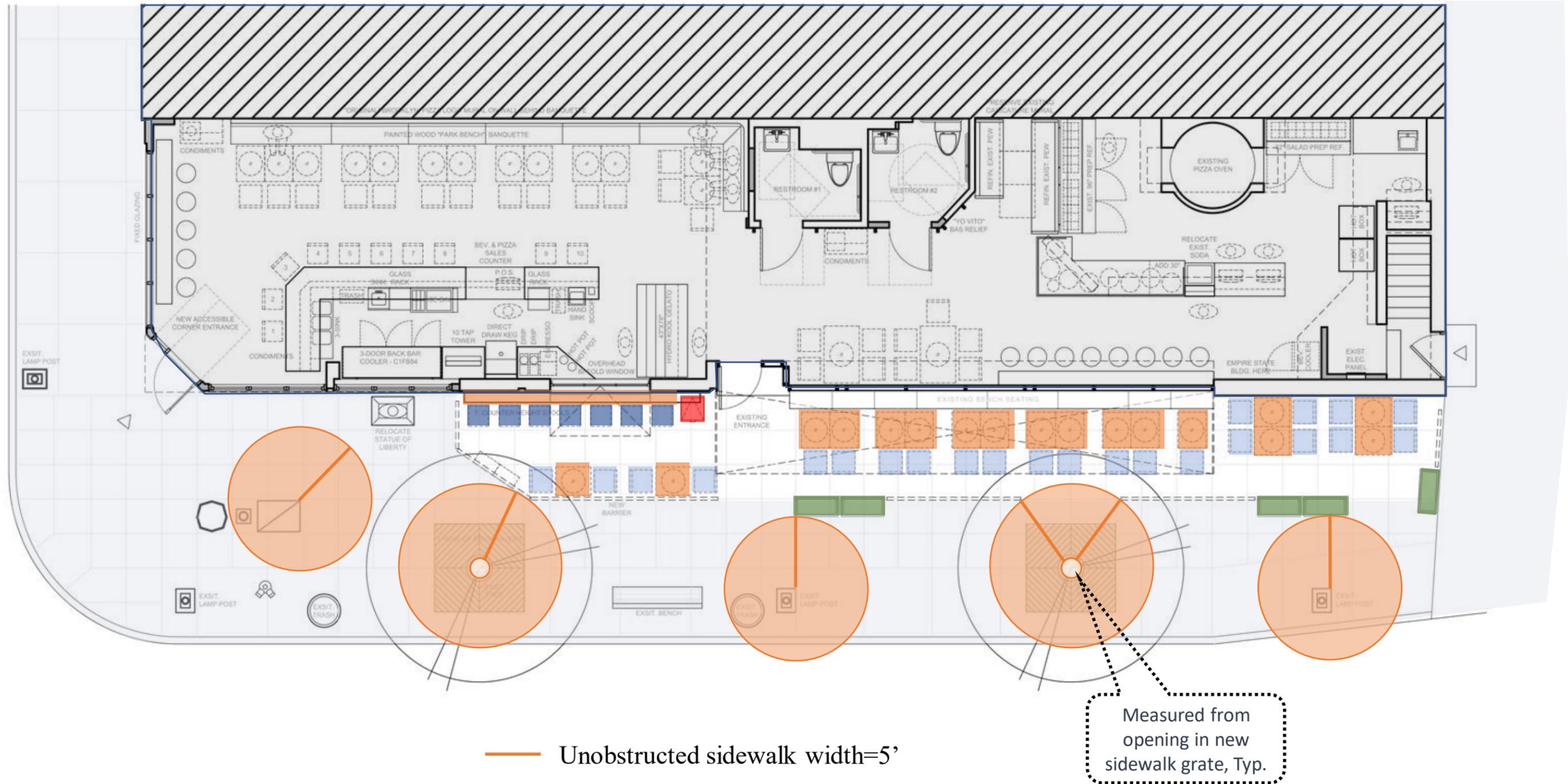
The use of cement fiber board in Detroit’s historic districts.

Description of proposed material: Cement fiber boards are a common replacement for stucco or plywood on building facades. It is composed of cement, silica (sand) and cellulous. The first two ingredients are the principal raw materials used to create stucco, while the later ingredient, cellulous, comes from wood. It has a similar appearance to some stucco finishes and when painted is equivalent to painted plywood but is vastly more durable than either.

DESIGN SUPPLEMENT

Chapter 2 – Outdoor Patio

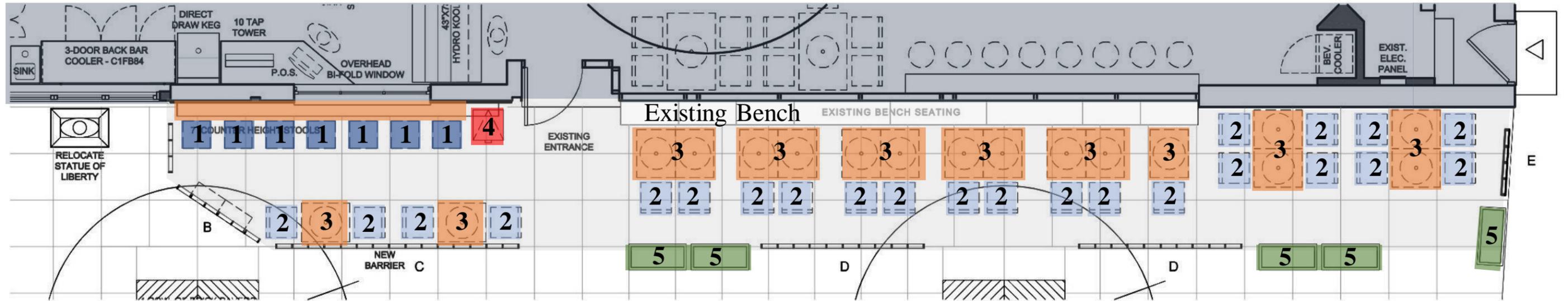
Outdoor Patio – Patio Plan and Clearance



Outdoor Patio – Patio Furniture

Total # of Seats Outside = 41

- Tolix Brasserie Barstool = 7
- Tolix Brasserie Chair = 23
- Bench = 11+



1 Tolix Brasserie Barstool

2 Tolix Brasserie Chair

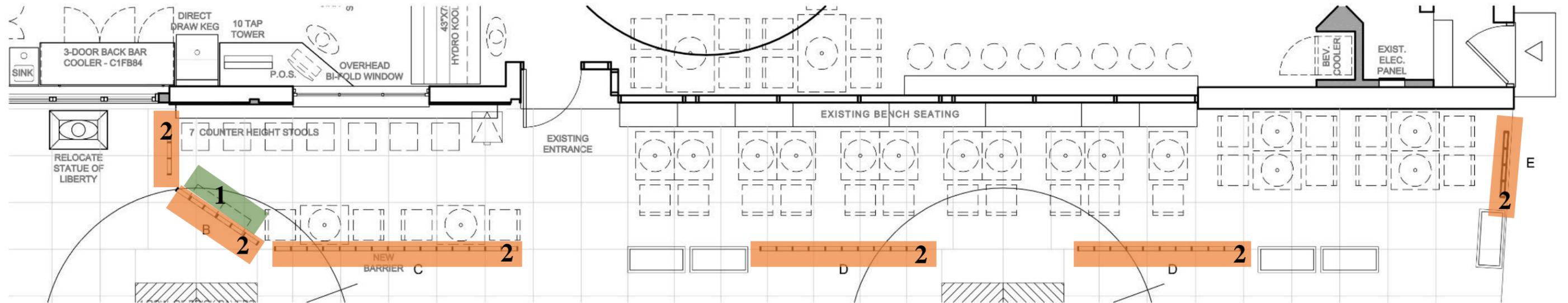
3 Antique Oak Tabletop

3 Brushed Aluminum Tablebase

4 40-gallon Steel Trash Can

5 Black Fiberglass Planter

Proposed Renovation – Metal Railing

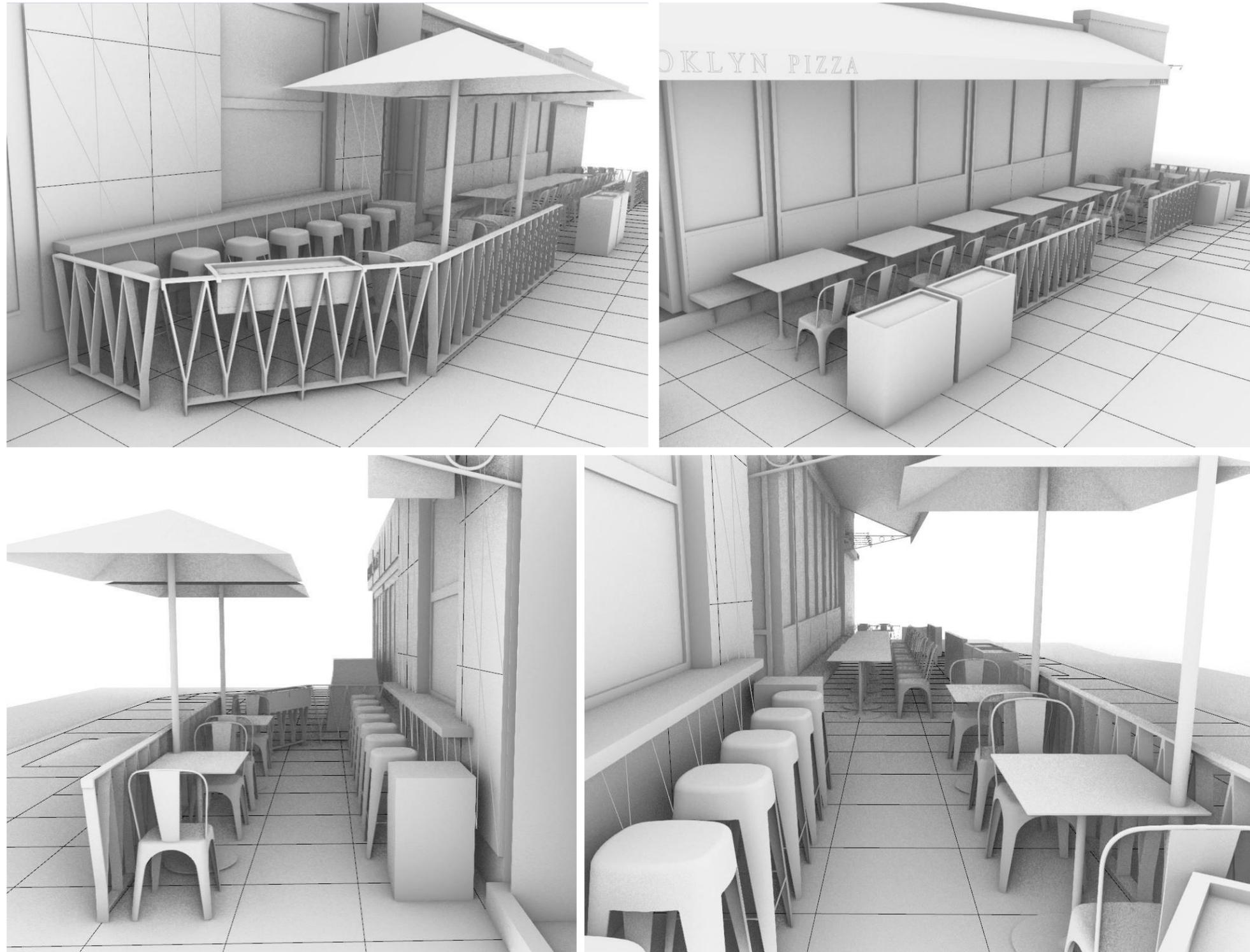


1 Clip-on Planter



2 Metal Railing

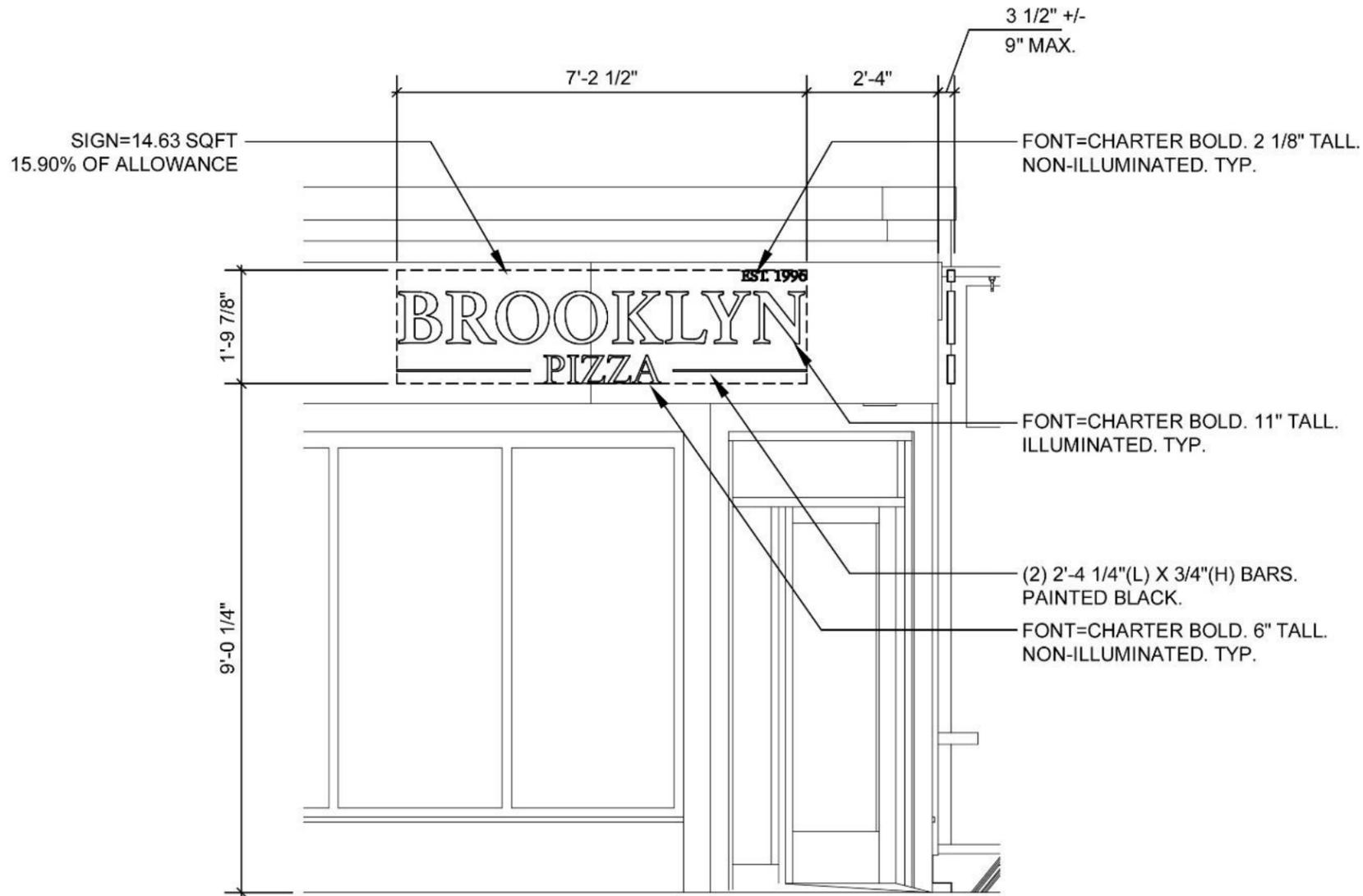
Outdoor Patio – Perspective Views



DESIGN SUPPLEMENT

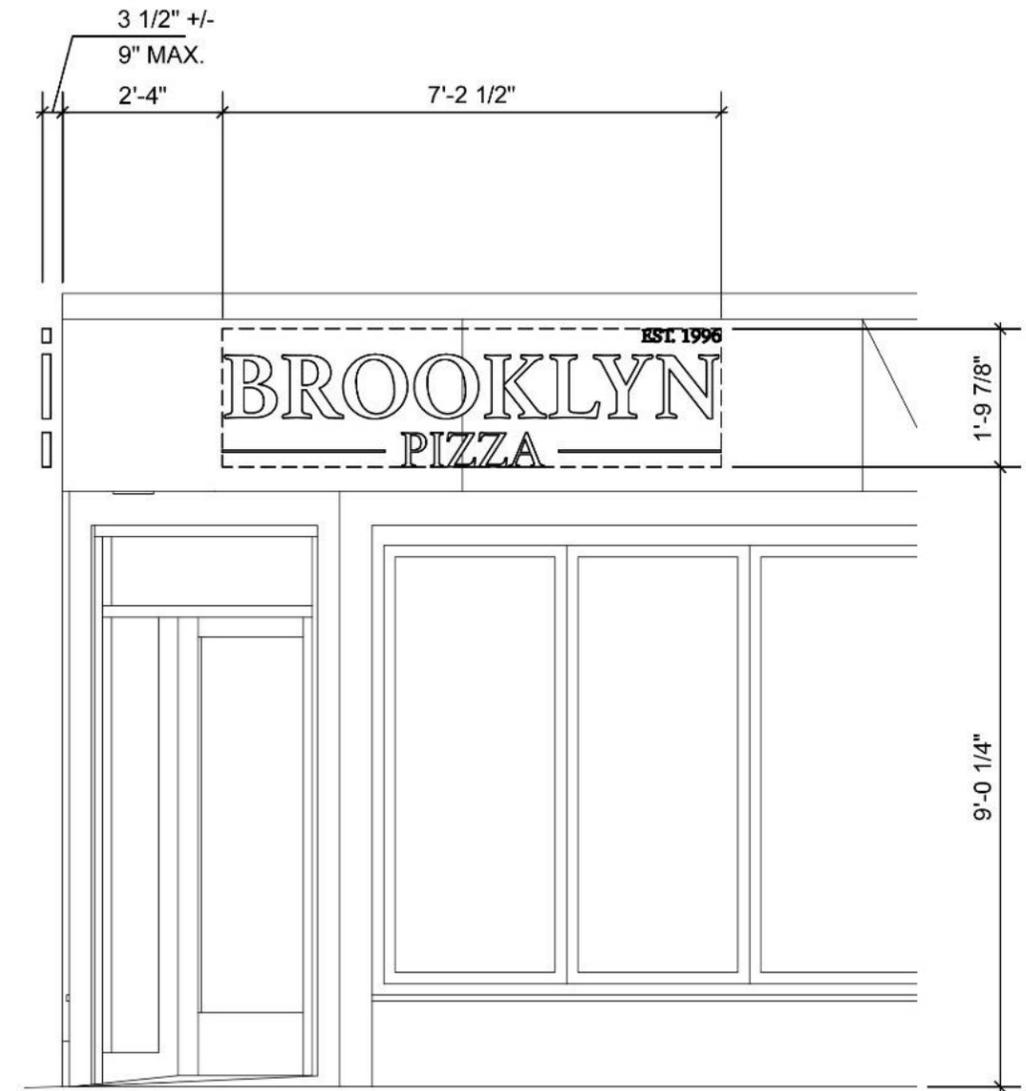
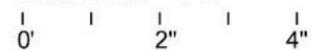
Chapter 3 – Signage and Lighting

Signage and Lighting – Wall Signs



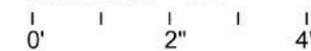
NORTH ELEVATION (W MAPLE RD.)

SCALE: 3/8" = 1'-0"



WEST ELEVATION (HENRIETTA ST.)

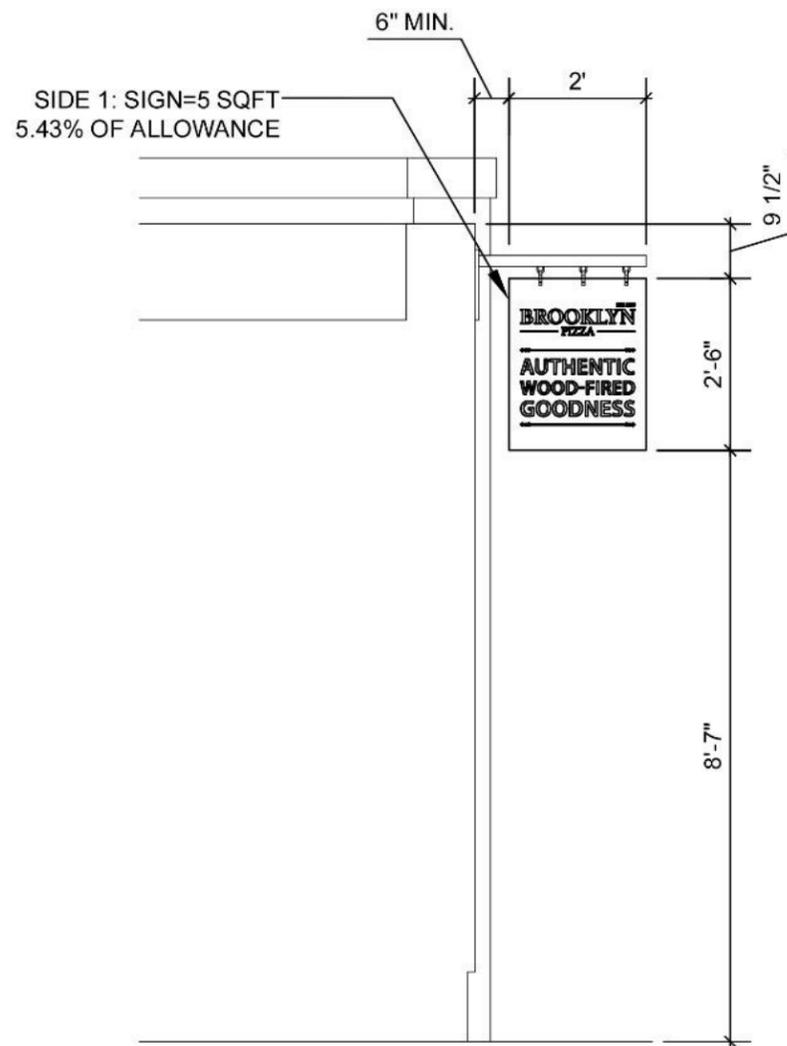
SCALE: 3/8" = 1'-0"



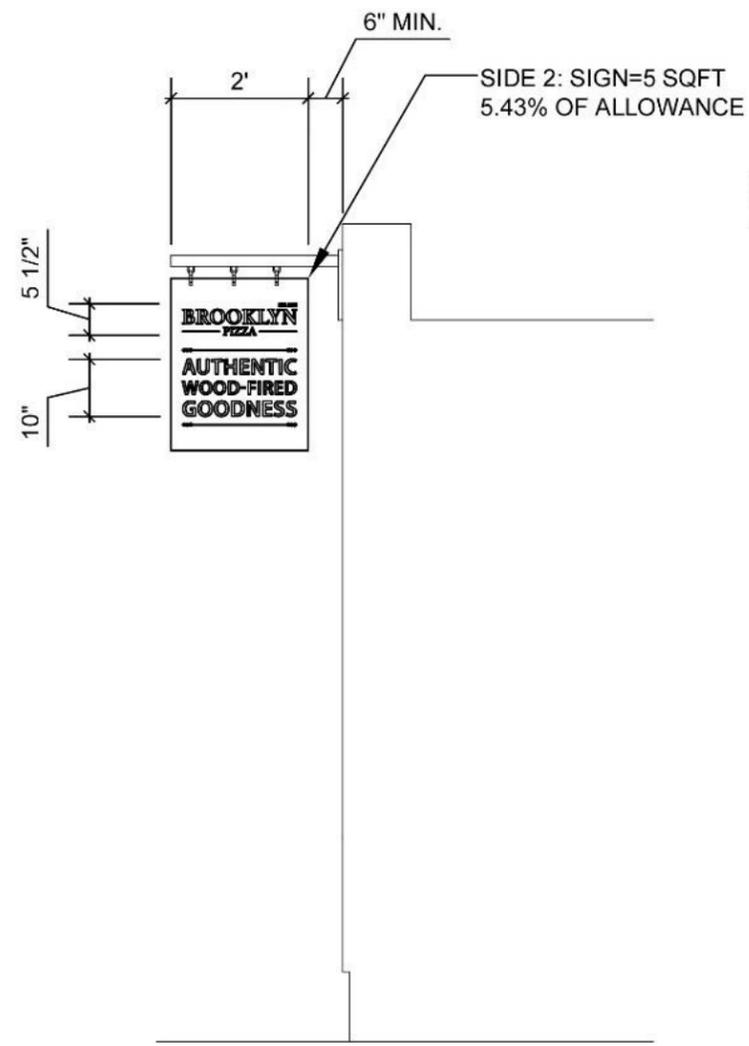
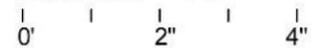
NOTES:

- ALL CHARACTERS TO BE METAL CHANNEL LETTERS PAINTED BLACK, AND PIN-MOUNTED TO BLDG. FACADE.
- ILLUMINATED LETTERS SHOULD BE BACKLIT.

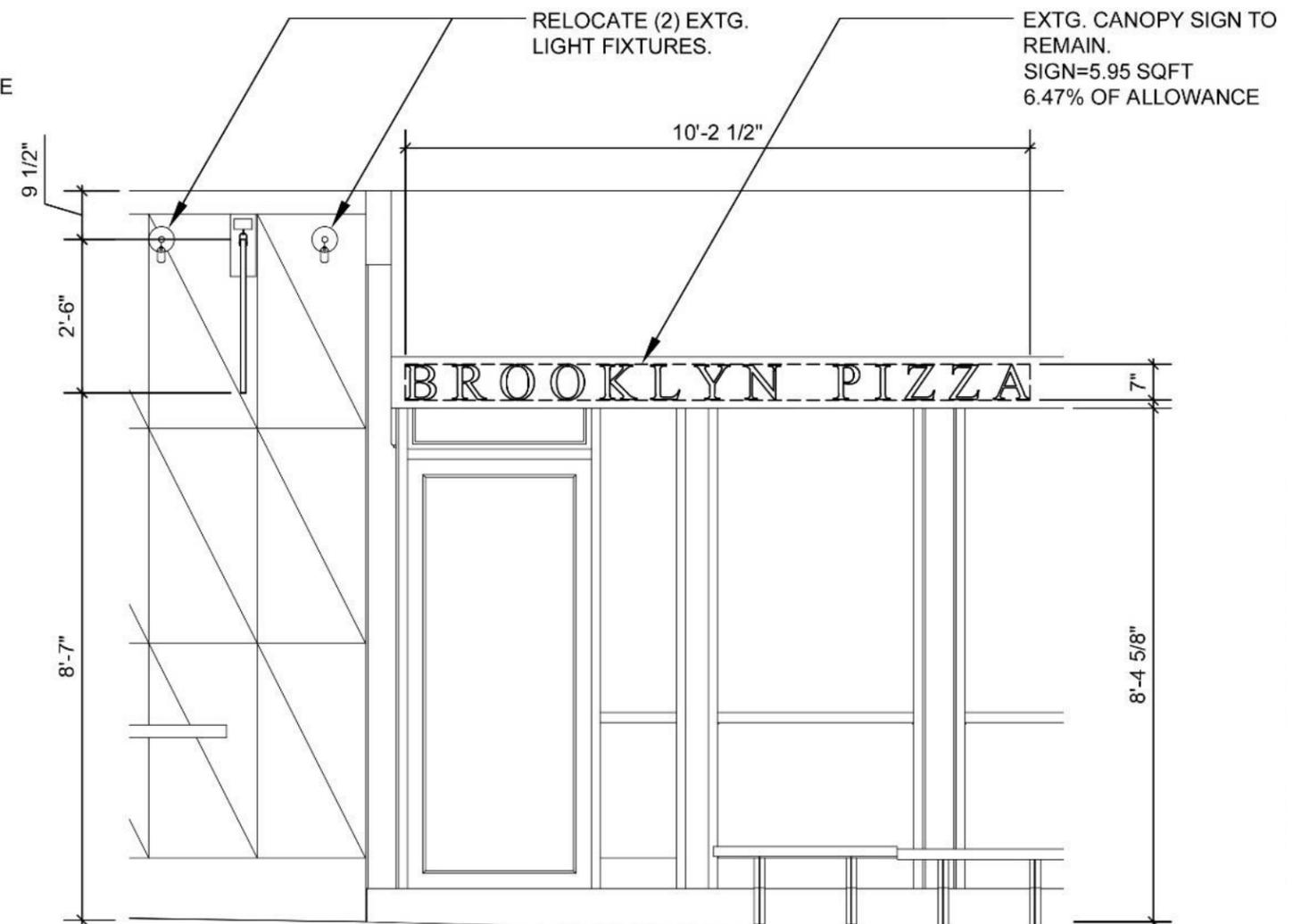
Signage and Lighting – Projecting Sign and Canopy Sign



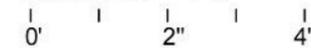
SOUTH ELEVATION (W MAPLE RD.)
SCALE: 3/8" = 1'-0"



NORTH ELEVATION (ALLEY)
SCALE: 3/8" = 1'-0"



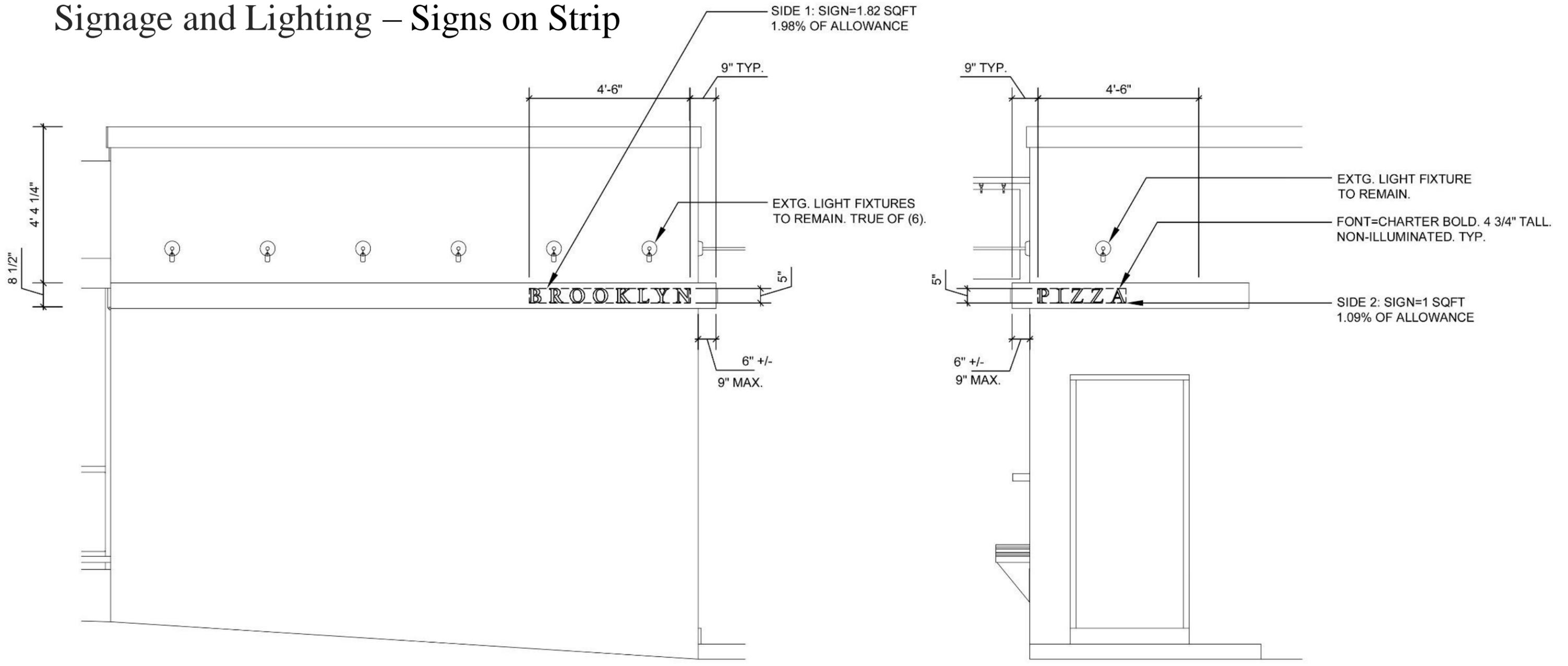
WEST ELEVATION (HENRIETTA ST.)
SCALE: 3/8" = 1'-0"



NOTES:

- DASHED BOUNDING BOX INDICATES THE MAXIMUM SQUAREFOOTAGE OF THE PROJECTING SIGN. ANY PROJECTING SIGN SMALLER IS ACCEPTABLE.
- THE AREA OF BOTH SIDES IS TO BE COUNTED TOWARD THE TOTAL ALLOWANCE.
- EXTG. CANOPY SIGN IS COMPLIANT TO CURRENT ORDINANCE.

Signage and Lighting – Signs on Strip



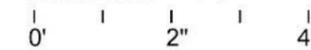
WEST ELEVATION (HENRIETTA ST.)

SCALE: 3/8" = 1'-0"



SOUTH ELEVATION (ALLEY)

SCALE: 3/8" = 1'-0"



NOTE:

- NEW (2) 8 1/2"(H) X 6"(D) WHITE METAL BOXES TO BE ATTACHED TO MASONRY WALL.
- ALL LETTERS SHALL BE 1/2" THICK ACRYLIC, PAINTED BLACK, AND INSTALLED ON THE BOXES USING ADHESIVE.

Signage and Lighting – Calculations

Type of Sign	Number	Dimension	Total Area (sqft)	% of Allowance
Wall Sign	2	7'-2 1/2"(W) × 1'-9 7/8"(H)	29.26	31.8%
Projecting Sign	2 (sides)	2'(W) × 2'-6"(H)	10	10.87%
Canopy Sign	1	10'-2 1/2"(W) × 7"(H)	5.95	6.47%
Sign on Stripe 1	1	4'-6" (W) × 5"(H)	1.82	1.98%
Sign on Stripe 2	1	2'-5 1/2" (W) × 5"(H)	1	1.09%
Total	7	-	48.03	52.21%



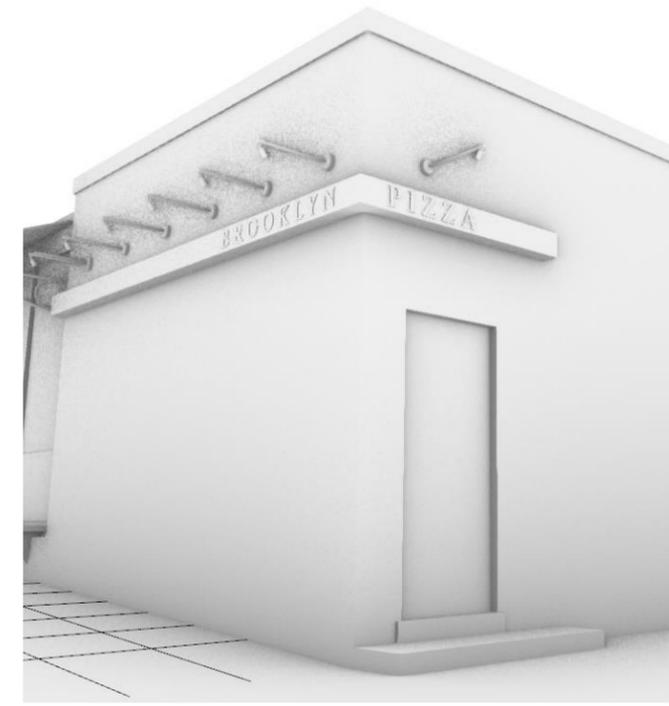
Wall Signs



Projecting Sign



Canopy Sign



Signs on Stripe

Signage and Lighting – New Building Lighting

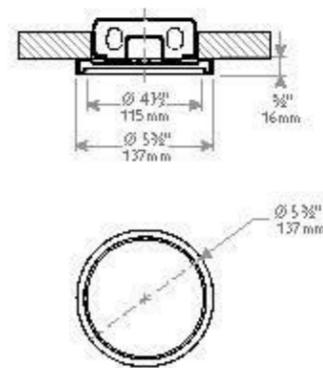
Round apertures

5", 7" and 10"

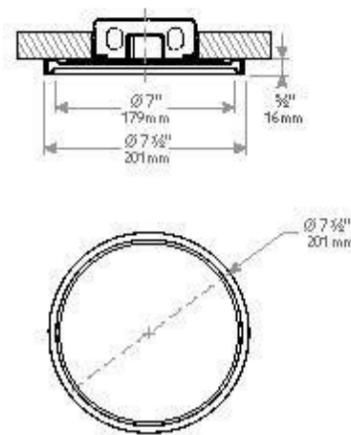
Now available in a 10" aperture with a high end, specification grade, metal trim. The SlimSurface 10" luminaire is also available in the same finishes as the 5" & 7" apertures to provide a consistent trim style and match any design. This 2,200lm configuration provides a high amount of light to help illuminate larger spaces where smaller surface mount down lights can not perform effectively. SlimSurface is perfect for hallways, entry ways and even the traditional center-of-the-room installations.



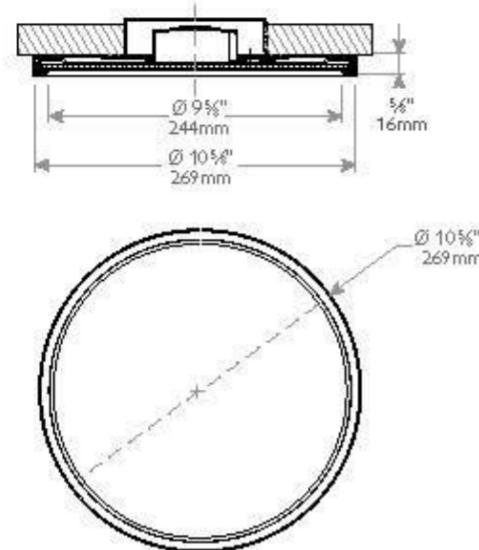
SlimSurface 5" round downlight



SlimSurface 7" round downlight



SlimSurface 10" round downlight



Ordering guide

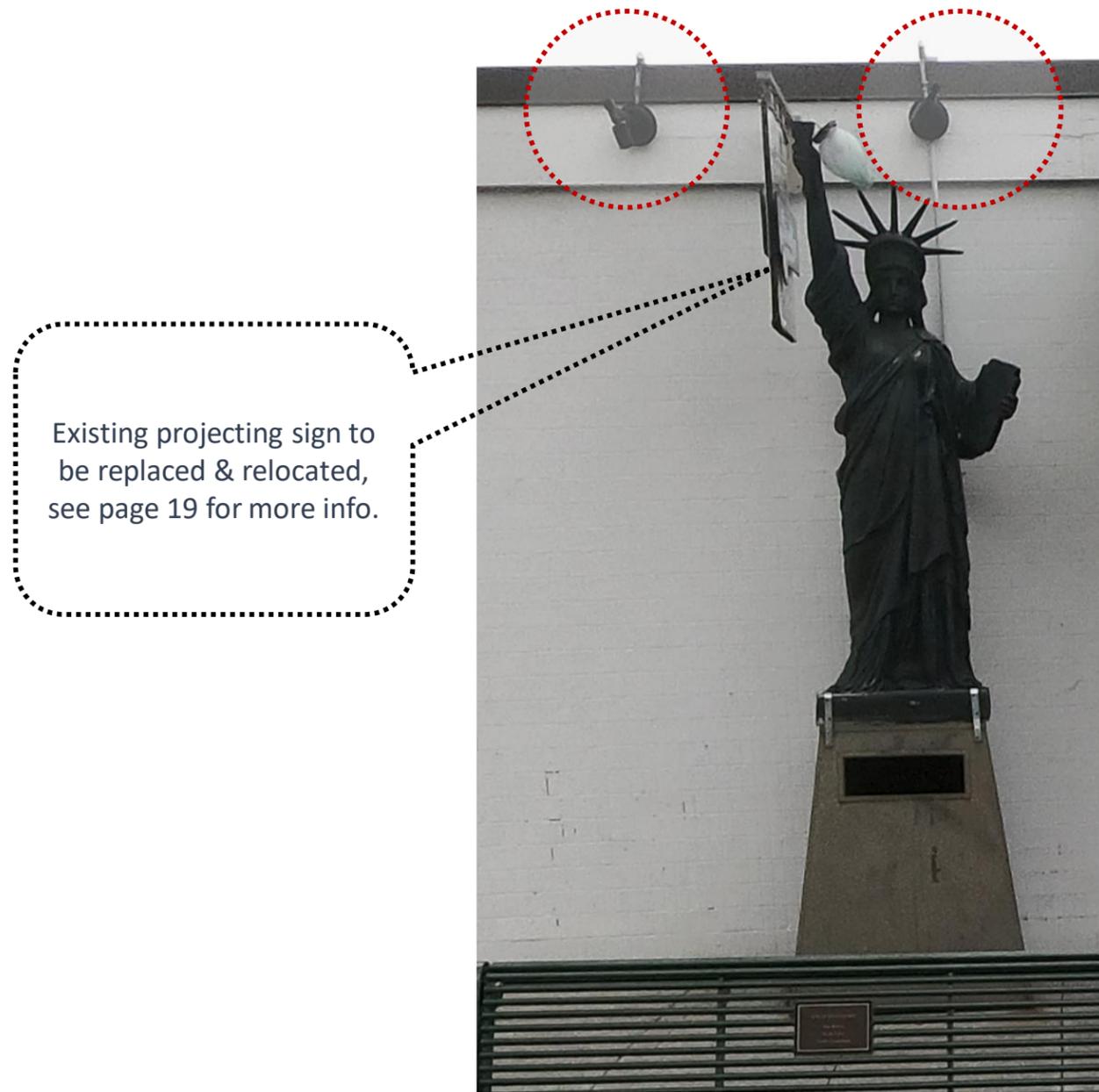
example: S5R890K7WH

Family	CRI / CCT	Lumens	Finish	Dimming
S5R SlimSurface 5" Round	827K 80 CRI / 2700K CCT	7 650lm (S5R only)	— White	— ELY / Triac (120V)
S7R SlimSurface 7" Round	830K 80 CRI / 3000K CCT	10 1000lm (S7R only)	AL Aluminum	
S10R SlimSurface 10" Round	835K 80 CRI / 3000K CCT	22 2200lm (S10R only)	BK Black	
	840K 80 CRI / 4000K CCT		MT Metallic*	
	927K 90 CRI / 2700K CCT		W White	Z10U 0-10V (120V-277V)
	930K 90 CRI / 3000K CCT		AL Aluminum	
			BK Black	
			MT Metallic*	

* Only available with 10" (S10R) configurations.

Project to include (1) 7" LED Downlight above Corner Entrance

Signage and Lighting – Replacement Lighting



Project to include (2) relocated/replaced existing sign lights @ refurbished/relocated projecting sign. Lighting fixtures shall match existing.

DESIGN SUPPLEMENT

Chapter 4 – Interior Design

Interior Design – Furniture

Total # of Seats Inside = 65

- Park Bench = 14
- Pronto Stella Vintage Chair = 23
- Nadia Swivel Barstool = 10
- Barstools = 13
- Refurbished Church Pews = 5



1 Park Bench



2 Tabletop



Cast Iron Table Base



3 Nadia Swivel Barstool



4 Pronto Stella Vintage Chair



5 Wood Top Stool

Interior Design – Color Palette

SW 7566
Westhighland White
Interior / Exterior
Locator Number: 255-C3

SW 6990
Caviar
Interior / Exterior
Locator Number: 251-C2

SW 6607
Red Tomato
108-CS

SW 7015
Repose Gray

SW 7657
Tinsmith

SW 6811
Honorable Blue

SW 6994
Greenblack
Interior / Exterior
Locator Number: 251-C6

SW 6224
Mountain Air

SW 6231
Rock Candy

SW 6039
Poised Taupe

SW 7057
Silver Strand

SW 9178
In the Navy

SW 7665
Wall Street

251

SW 7730
Forestwood

SW 9184
Foxhall Green

SW 6209
Ripe Olive

SW 7742
Agate Green

SW 6430
Great Green

SW 6723
Jardin

Black Fox SW 7020

SW 6216
Jasper

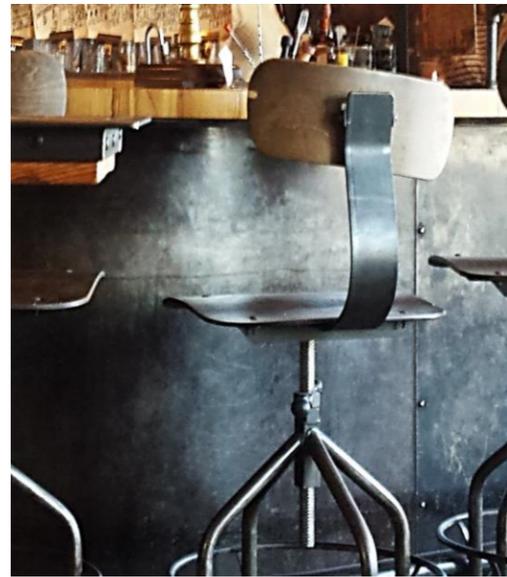
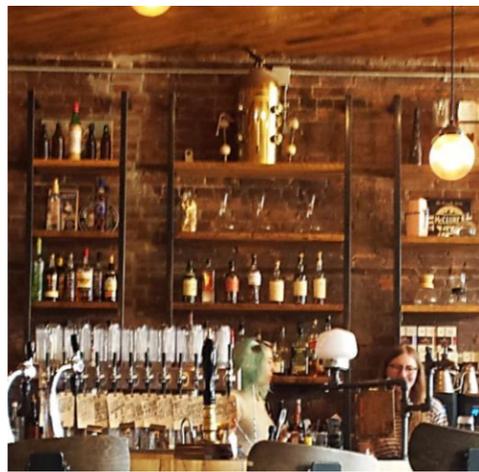
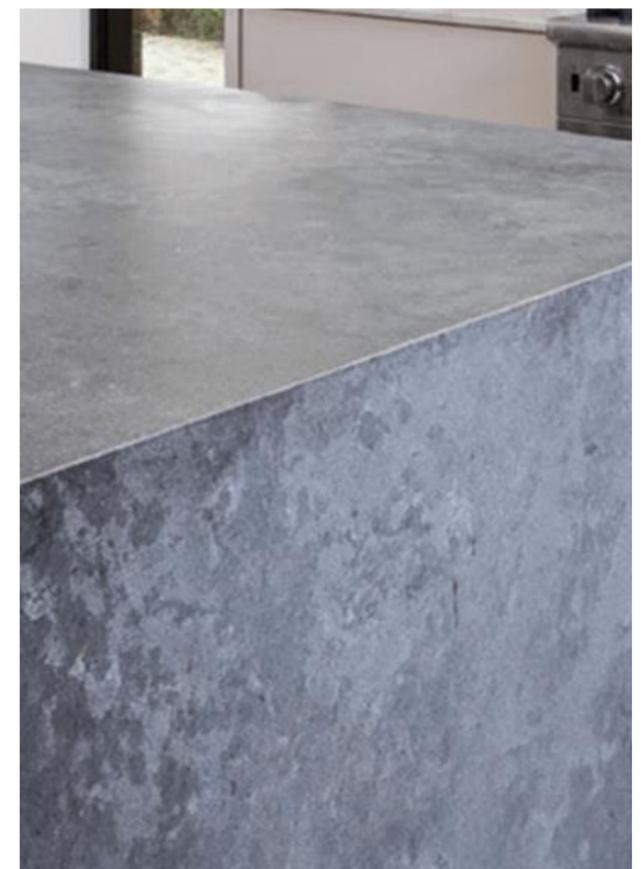
SW 6437
Haven

Gauntlet Gray
SW 7019

Dovetail SW 7018

Dorian Gray
SW 7017

Interior Design – Mood Board



Bar

Bar / Service Counter

Wainscoting

Floor Finishes

Tabletops & Countertops

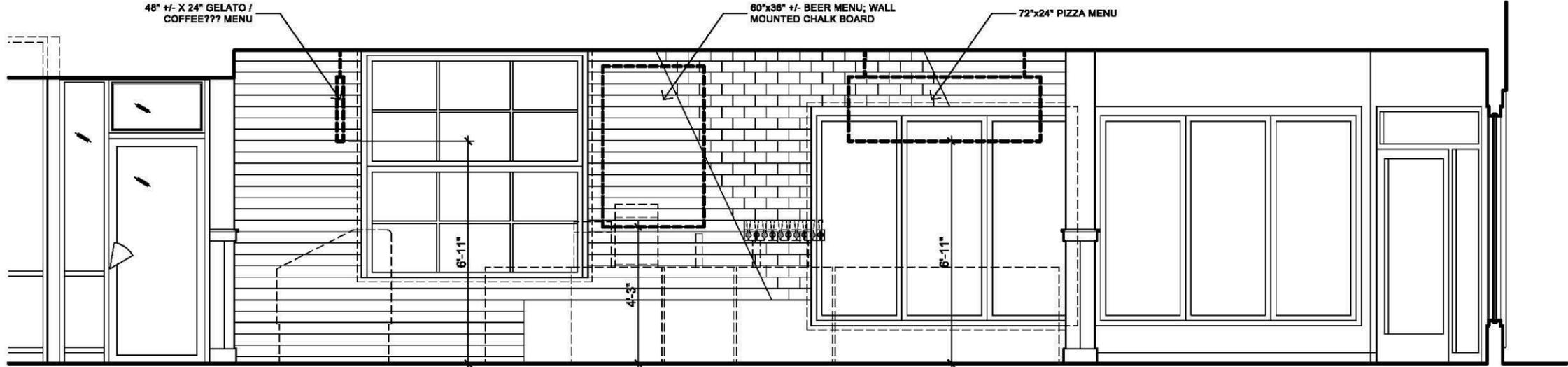
Interior Design – Mood Board



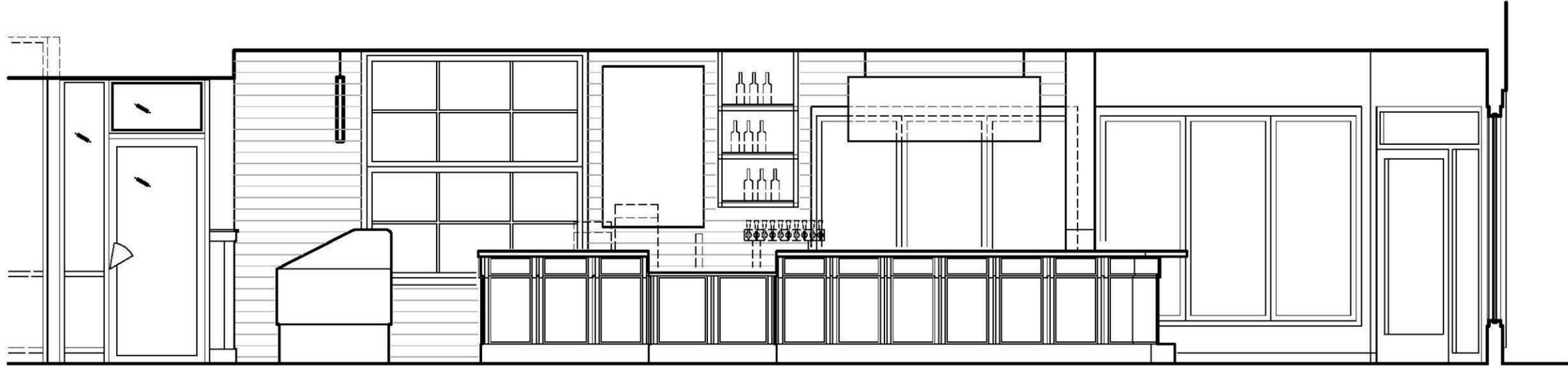
Restroom Tile

Dining Area

Interior Design – Interior Elevations



Back-of-Bar Elevation

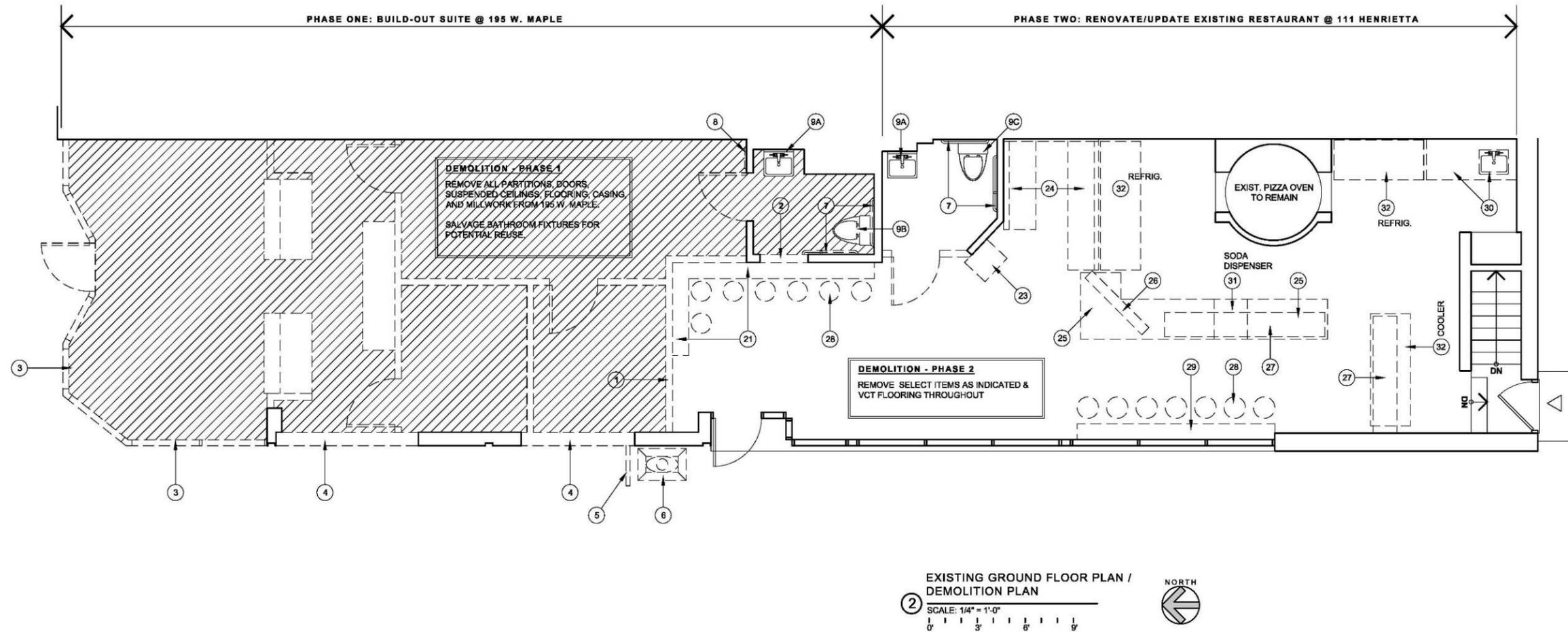


Bar Elevation

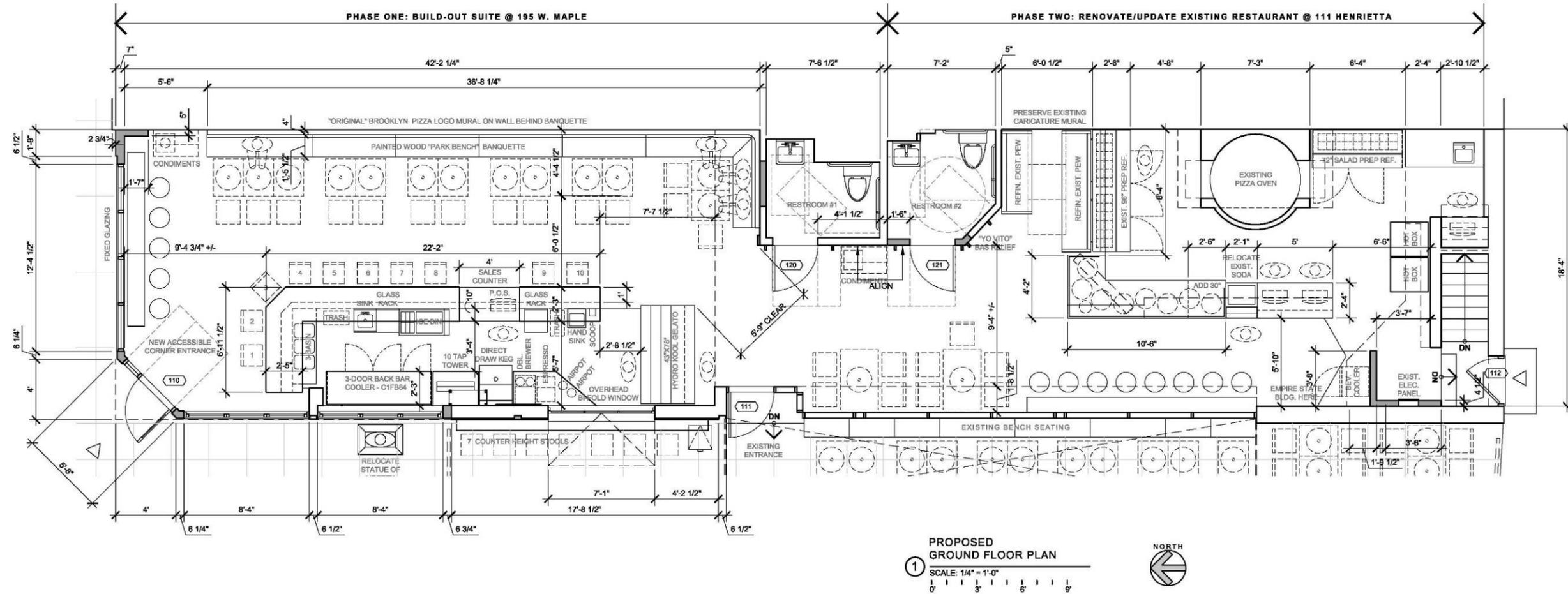
DESIGN SUPPLEMENT

Chapter 5 – Architectural Drawings

Existing Plan



Proposed Floor Plan



Roof Plan

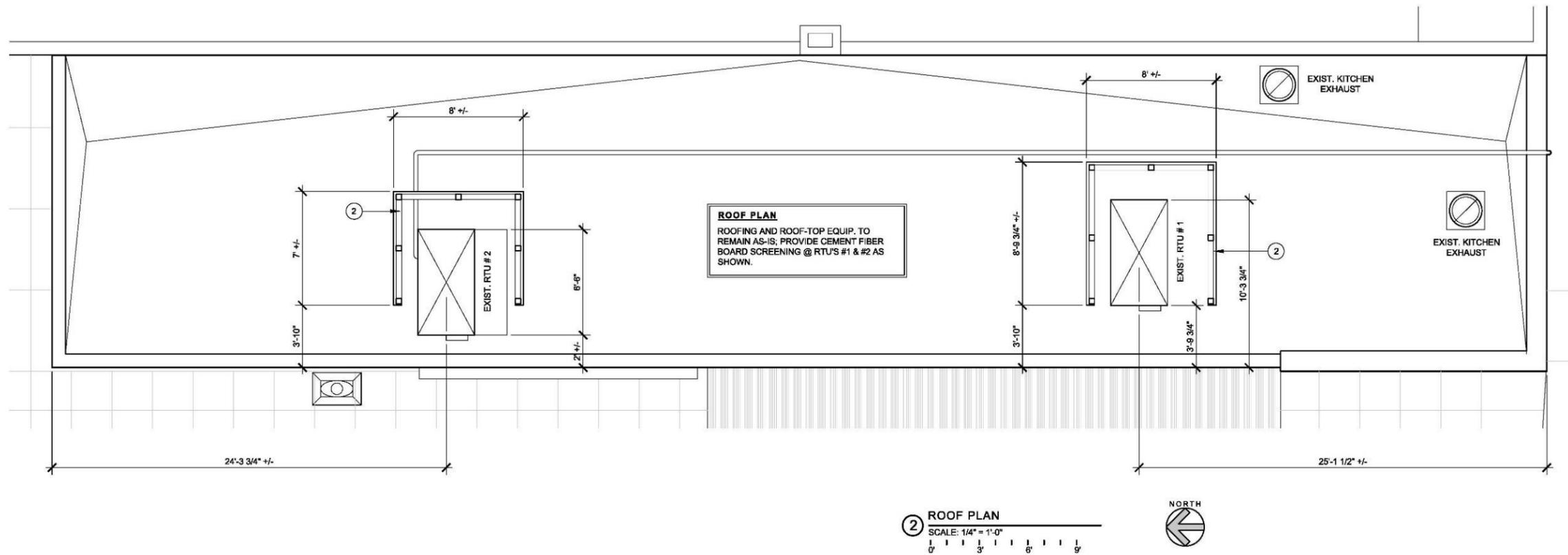
GENERAL NOTES

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2. CONTRACTOR SHALL VERIFY REQUIRED AIR-FLOW CLEARANCES & ACCESS REQUIREMENTS FOR MECH. EQUIP PRIOR TO START OF WORK; NOTIFY ARCHITECT & OWNER OF ALL FINDINGS.
- 3.

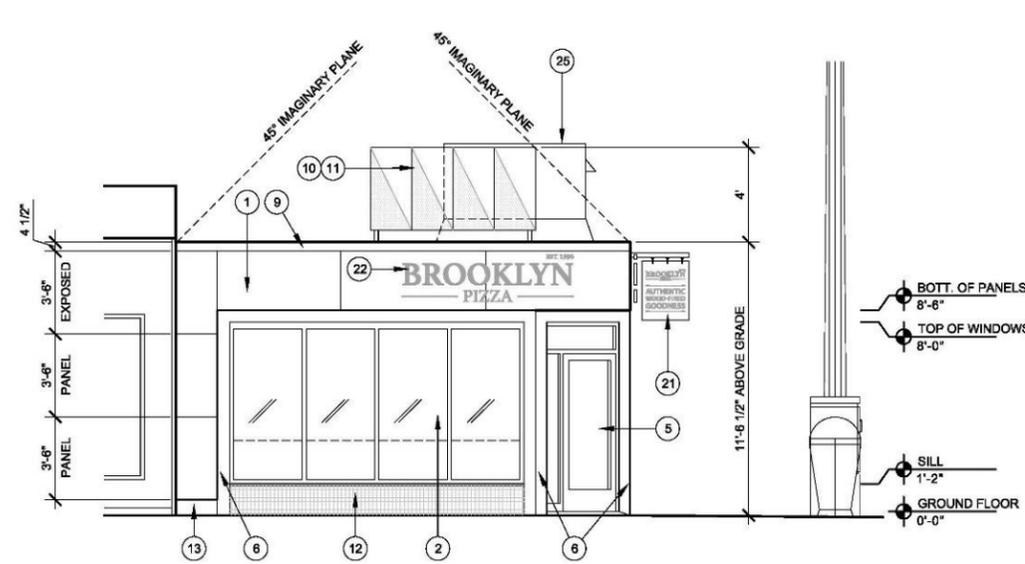
KEYED NOTES

ROOF PLAN

- ① -
- ② NEW EQUIP. SCREEN @ EXIST. HVAC UNIT; SEE EXTERIOR ELEVATIONS ON A201 FOR MORE INFO.

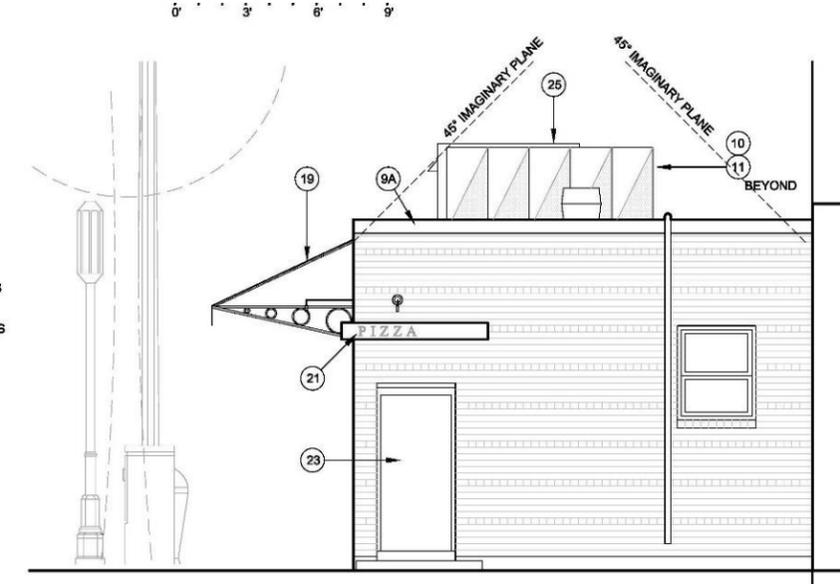


Annotated Exterior Elevations

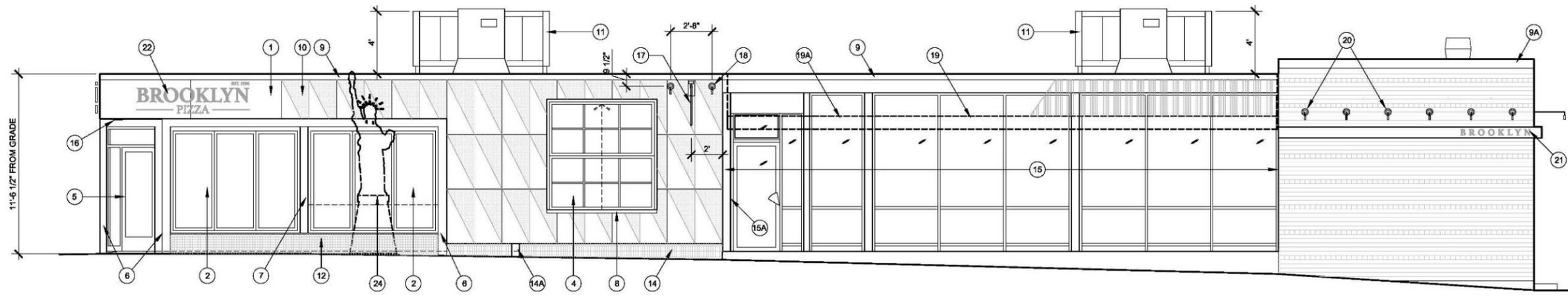


3 NORTH ELEVATION
(MAPLE ROAD)
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'

NOTE: AREA OF GLAZING = 70% OF FACADE



2 SOUTH ELEVATION
(PUBLIC ALLEY)
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'



NOTE: AREA OF GLAZING = 70% OF FACADE

1 WEST ELEVATION
(HENRIETTA STREET)
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'

KEYED NOTES

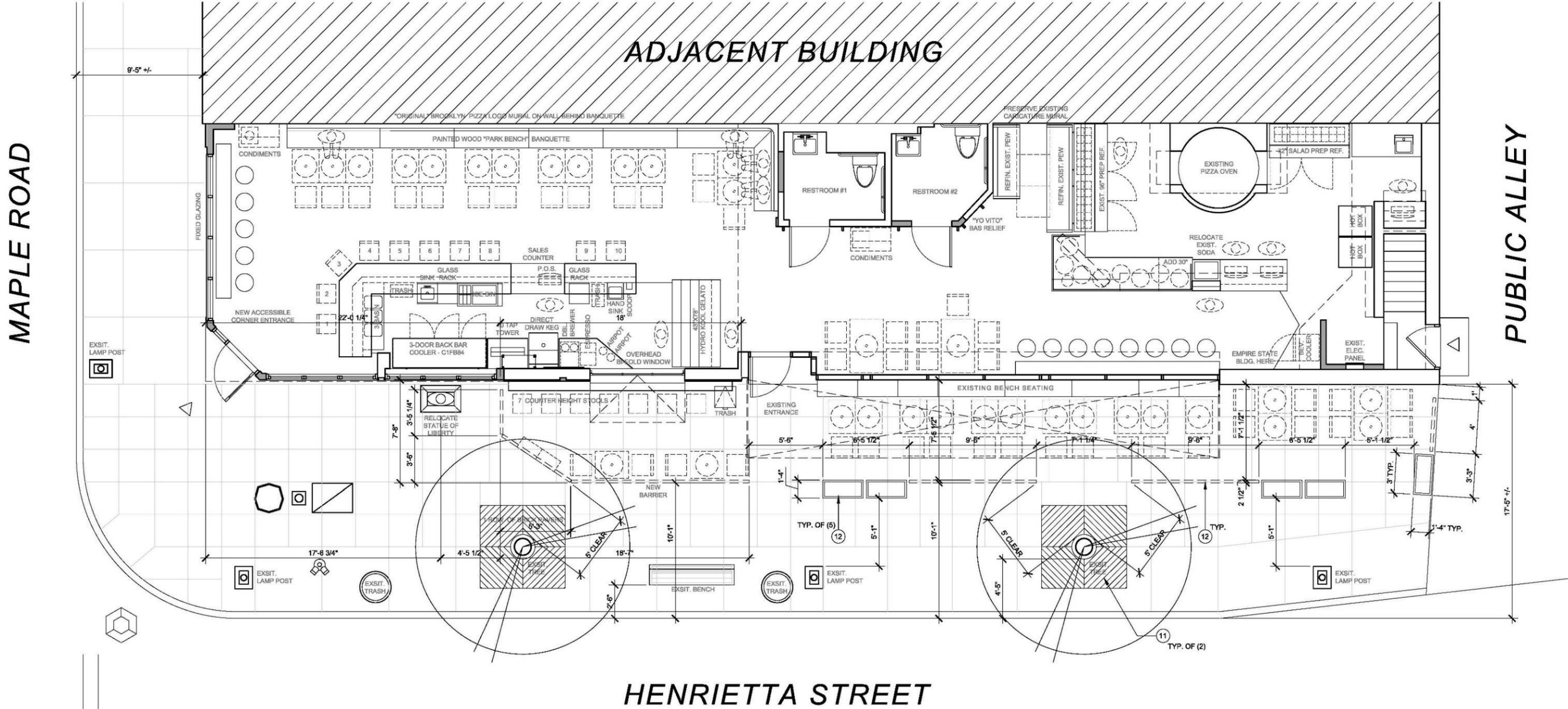
- 1 NEW 8MM MINERIT HD (FIBER CEMENT) RAINSCREEN FACADE BOARDS ON 7/8" GALV. METAL FURRING; PAINT BOTH SIDES OF BOARDS PER MANUFAC. INSTRUCTIONS, COLORS: TBD.
- 2 CLEAR ANODIZED, THERM. BROKEN ALUM. STOREFRONT WINDOW FRAME BY RAMCO W/ 1" I.G.U.
- 3 CLEAR ANODIZED, THERM. BROKEN ALUM. "CAFE" (FOLDING) WINDOW BY RAMCO W/ 1" I.G.U.
- 4 DOUBLE GLAZED SST-II HYDRAULIC BI-FOLD WINDOW BY CROWN DOORS OR EQUAL, IN "WHITE ALUMINUM" (RAL 9006)
- 5 CLEAR ANODIZED ALUM. STOREFRONT DOOR, SIDELITE, & TRANSOM BY RAMCO
- 6 18 GAUGE +/-, CLEAR ANODIZED ALUM. BRAKE METAL CASING; SEE DETAILS ON SHEET AXXX FOR MORE INFO.
- 7 PRIME & PAINT EXIST. COLUMN; COLOR: TBD
- 8 10 GAUGE +/-, CLEAR ANODIZED ALUM. BRAKE METAL SILL & JAMBS, SEE DETAILS ON SHEET XXX FOR MORE INFO.
- 9 NEW ALUMINUM COPING, COLOR: WHITE
- 9A EXISTING COPING TO REMAIN
- 10 SHADED AREA INDICATES ACCENT COLOR; SEE ENLARGED DETAILS FOR MORE INFO.
- 11 NEW EQUIP SCREEN = 8MM MINERIT HD (FIBER CEMENT) FACADE BOARDS ON 7/8" GALV. METAL FURRING ON GALV. METAL FRAMING STRUT; PAINT BOTH SIDES OF BOARDS PER MANUFAC. INSTRUCTIONS, COLORS: TBD.
- 12 CERAMIC TILE ON CEMENT BACKER BOARD MANUFACTURER / PRODUCT: DAL TILE, NATURAL HUES, 2X2 FIELD TILE, COLOR: BLACK QH45 GROUT COLOR: CHARCOAL, SUBMIT SAMPLES FOR APPROVAL
- 13 PAINTED CEMENT PARGING ON CEMENT BACKER BOARD, COLOR: TBD
- 14 EXISTING TILE TO REMAIN
- 14A PRIME AND PAINT EXPOSED PORTION OF EXIST. COLUMN, COLOR: TBD
- 15 RE-PAINT EXISTING STOREFRONT INCLUDING WINDOW FRAMES, DOOR FRAME, DOOR, FASCIA BOARD, EXPOSED COLUMNS, & UNDERSIDE OF SOFFIT; COLOR: TBD
- 15A PRIME AND PAINT SIDE WALL @ ENTRANCE, COLOR: SAME AS KEY NOTE #15
- 16 NEW 7"Ø 'SLIM SURFACE' LED DOWNLIGHT BY SIGNIFY ON CEILING ABOVE CORNER ENTRANCE
- 17 RE-INSTALL EXISTING PROJECTING HERE
- 18 RE-INSTALL (2) EXISTING SIGN LIGHTS HERE
- 19 DASHED LINE INDICATES EXTENT OF EXIST. AWNING; PROTECT AWNING THROUGHOUT CONSTRUCTION, AWNING TO REMAIN AS-IS
- 19A EXIST. VINYL LETTERS ATTACHED TO EXIST. AWNING TO REMAIN
- 20 EXISTING LIGHT FIXTURES TO REMAIN AS-IS
- 21 OWNER TO REPLACE DETERIORATING SIGN WITH MATCHING AND/OR COMPARABLE SIGN; REFER TO SIGN DRAWINGS FOR MORE INFO.
- 22 NEW "HALO" BACKLIT LETTERS BY OWNER; CONTRACTOR TO PROVIDE POWER SOURCE; REFER TO SIGN DRAWINGS FOR MORE INFO.
- 23 PAINT EXIST. EXTERIOR DOOR & DOOR FRAME, COLOR: TBD.
- 24 RE-LOCATE EXIST. STATUE OF LIBERTY HERE, @ CENTER OF WINDOW OPENING
- 25 EXISTING RTU TO REMAIN AS-IS; REFER TO ROOF PLAN FOR MORE INFO.

Architectural Site Plan / Outdoor Patio

KEYED NOTES

OUTDOOR DINNING/SITE PLAN

- 11 PROVIDE NEW STREET GRATE AT EXISTING STREET TREE; CONTACT CITY OF BIRMINGHAM PUBLIC WORKS DEPARTMENT FOR MORE INFO.
- 12 NEW FIBERGLASS PLANTER, BLACK; REFER TO OUTDOOR FURNITURE SCHED. FOR MORE INFO.
- 13 NEW CUSTOM METAL RAILING, BLACK; REFER TO OUTDOOR FURNITURE SCHED. FOR MORE INFO.



Land Survey



PROJECT TITLE:
BROOKLYN PIZZA EXPANSION
 Birmingham, Michigan

location
 111 Henrietta Street
 Birmingham, MI 48009

contact / owner
 Hani "Sam" Abdelfatah

ARCHITECT:
D MET design
 architecture studio

Midtown Detroit
 15 E. Kirby, suite 103
 Detroit, MI 48202

phone
 313.401.5181

contact
 Joel T. Schmidt, RA
 dmetdesign@gmail.com

www.dmetdesign.com

CONSULTANTS:

ISSUED FOR:

SLUP APP, DRAFT JUL 5, 2019
 PLAN REVISIONS 1 JUL 25, 2019
 BAR REVISIONS 1 AUG 19, 2019
 SLUP APP. & HDC SEP 17, 2019

STAMP:

SHEET NAME:
GROUND FLOOR PLAN

SHEET NO.

A100

GENERAL NOTES

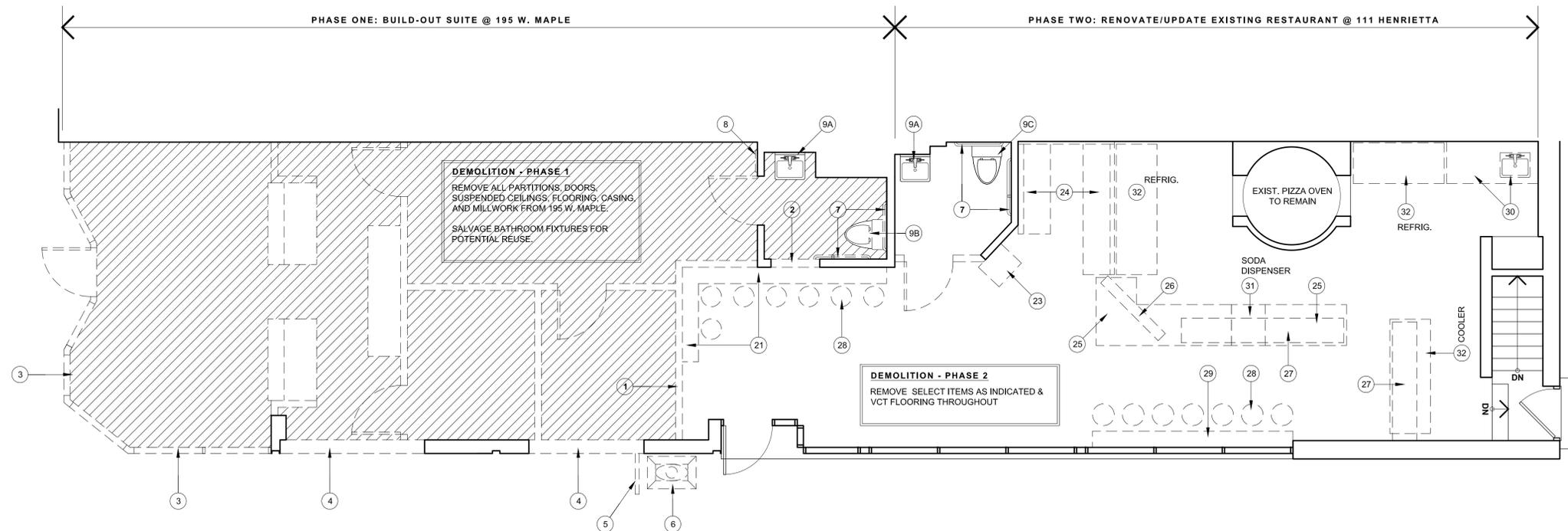
- ALL DIMENSIONS ARE 'NOMINAL' FROM FINISH-TO-FINISH UNLESS INDICATED OTHERWISE.
- WALL TYPE DESIGNATION: WALL TYPES OTHER THAN 'TYPICAL' ARE INDICATED ON THE FLOOR PLAN WITH A WALL TYPE DESIGNATION TAG. WHERE WALL TYPES ARE INDICATED, THE PARTITION SYSTEM IS CONTINUOUS UNTIL THE PARTITION CHANGES DIRECTION OR ANOTHER WALL TYPE IS INDICATED. UNMARKED PARTITIONS ARE TYPE 'TYPICAL'.
- WALL HEIGHT DESIGNATION: THE CEILING HEIGHT OF EACH ROOM IS DESIGNATED ON THE RCP. NEW WALLS SHALL EXTEND TO A HEIGHT ABOVE THE FINISH CEILING, OR AS OTHERWISE NOTED ON THE RCP.
- NEW AND EXISTING DOORS ARE DESIGNATED WITH A DOOR TAG. CORRESPONDING INFORMATION IS FOUND IN THE DOOR SCHEDULE ON SHEET AXXX.
-

KEYED NOTES

- DEMOLITION - PHASE 1**
- EXIST. DEMISING WALL TO REMAIN INTACT THROUGHOUT PHASE ONE CONSTRUCTION; REMOVE AT BEGINNING OF PHASE TWO.
 - EXIST. BATHROOM WALL TO REMAIN INTACT THROUGHOUT PHASE ONE CONSTRUCTION; CREATE DOOR OPENING AT BEGINNING OF PHASE TWO.
 - REMOVE EXIST. STOREFRONT SYSTEM AND KNEE WALL. REFER TO EXT. ELEV. ON A200 FOR MORE INFO.
 - REMOVE EXIST. WALL CONSTRUCTION TO MAKE WAY FOR NEW STOREFRONT WINDOW. REFER TO EXT. ELEV. FOR MORE INFO.
 - SALVAGE EXIST. PROJECTING SIGN & (2) SIGN LIGHTS. SAVE FOR REUSE; REFER TO EXT. ELEV. FOR MORE INFO.
 - PROTECT EXIST. STATUE DURING CONSTRUCTION; MOVE TO NEW LOCATION
 - SALVAGE S.S. GRAB BARS & SAVE FOR REUSE
 - RELOCATE ELECTRICAL PANEL TO BASEMENT
 - REMOVE & DISCARD BATHROOM SINK, FAUCET, & MIRROR
 - REMOVE & RELOCATE EXISTING TOILET
 - REMOVE & RE-INSTALL EXIST. TOILET AS NEEDED FOR NEW FLOORING
- DEMOLITION - PHASE 2**
- REMOVE & DISCARD EXIST. COUNTER
 - *NOT USED
 - REMOVE & DISCARD EXIST. TRASH ENCLOSURE
 - PROTECT CHURCH PEWS DURING CONSTRUCTION; OWNER WILL RE-FINISH ITEM
 - REMOVE & RELOCATE SERVICE COUNTERS; OWNER WILL HAVE ITEM RE-FURNISHED
 - PROTECT MENU BOARD DURING CONSTRUCTION; OWNER WILL UPDATE MENU
 - REMOVE & DISCARD OVERHEAD STORAGE
 - SALVAGE FLOOR MOUNTED BARSTOOLS & SAVE BEST FOR REUSE; OWNER WILL RE-UPHOLSTER
 - SALVAGE COUNTER & SAVE FOR REUSE; OWNER WILL HAVE ITEM RE-FURNISHED
 - REMOVE & DISCARD EXIST. SINK, COUNTER, & BASE CABINETS
 - DISCONNECT KITCHEN EQUIP. & PROTECT DURING CONSTRUCTION; SAVE FOR REUSE
 - DISCONNECT KITCHEN EQUIP. & RETURN TO OWNER; DISCARD IF NOT WANTED

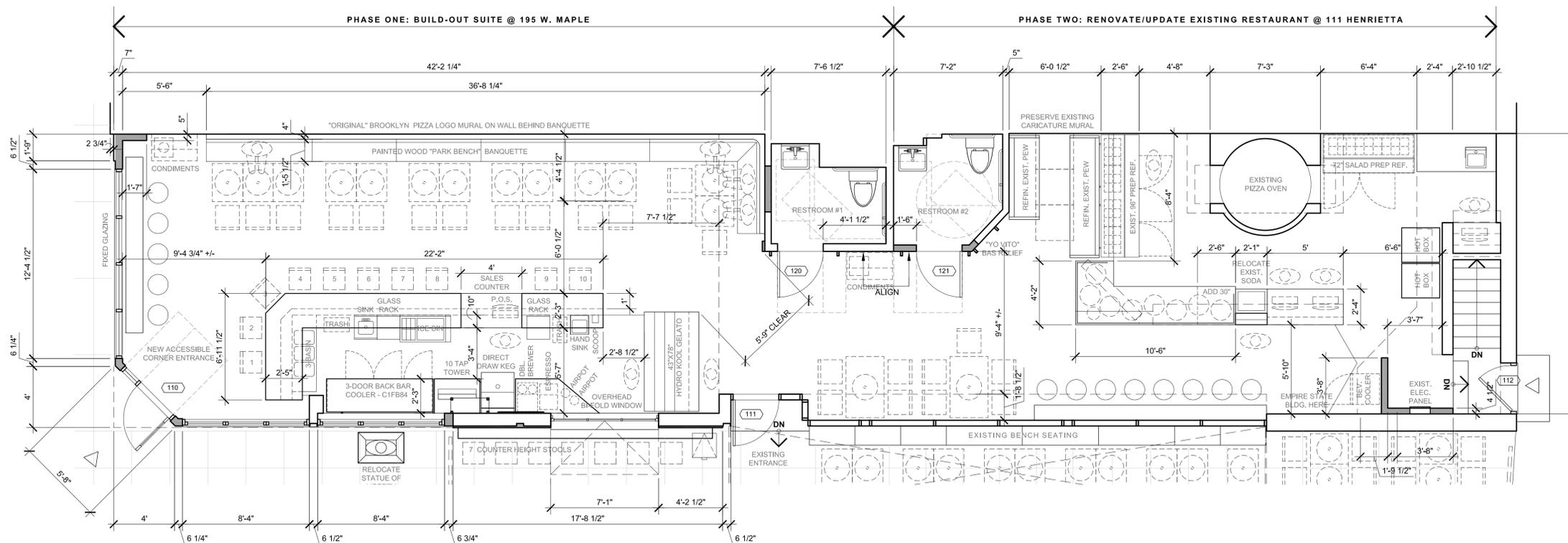
NEW CONSTRUCTION - PHASE 1

-
-



EXISTING GROUND FLOOR PLAN / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"
 0' 3' 6' 9'



PROPOSED GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 0' 3' 6' 9'



GENERAL NOTES

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2. CONTRACTOR SHALL VERIFY REQUIRED AIR-FLOW CLEARANCES & ACCESS REQUIREMENTS FOR MECH. EQUIP PRIOR TO START OF WORK; NOTIFY ARCHITECT & OWNER OF ALL FINDINGS.
- 3.

PROJECT TITLE:

**BROOKLYN
PIZZA
EXPANSION**
Birmingham, Michigan

Location
111 Henrietta Street
Birmingham, MI 48009

contact / owner
Hani "Sam" Abdelfatah

ARCHITECT:

D MET design
architecture studio

Midtown Detroit
15 E. Kirby, suite 103
Detroit, MI 48202

phone
313.401.5181

contact
Joel T. Schmidt, RA
dmetdesign@gmail.com

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CONSULTANTS:

ISSUED FOR:

SLUP APP. & HDC SEP 17, 2019

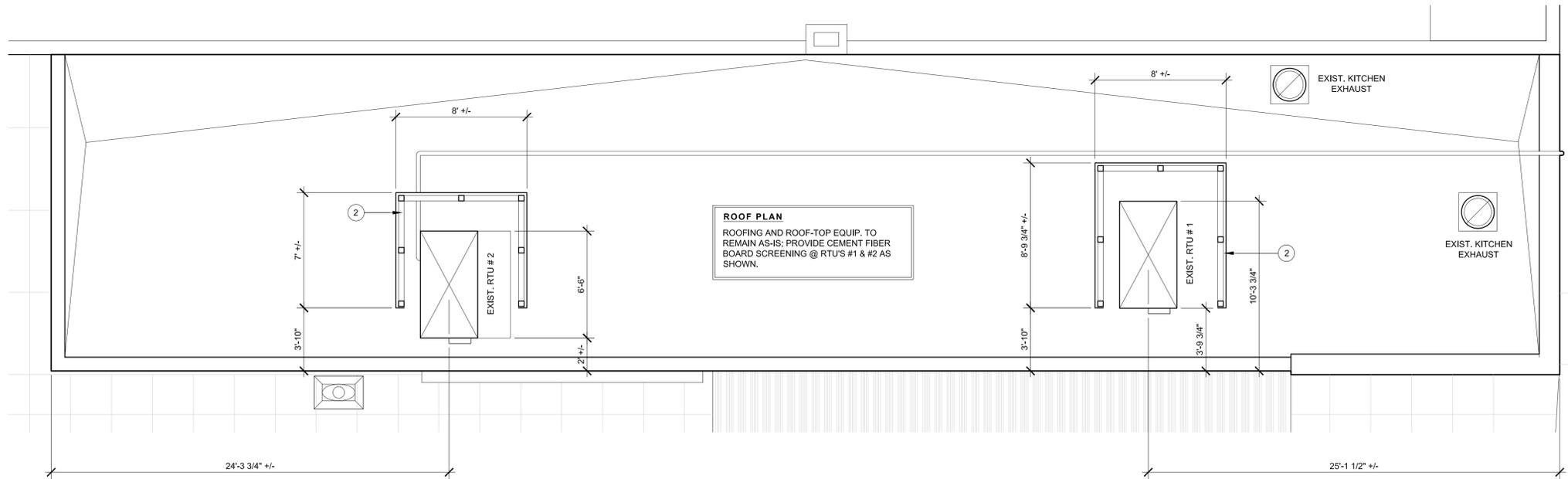
STAMP:

SHEET NAME:

**FINISHES &
ROOF PLAN**

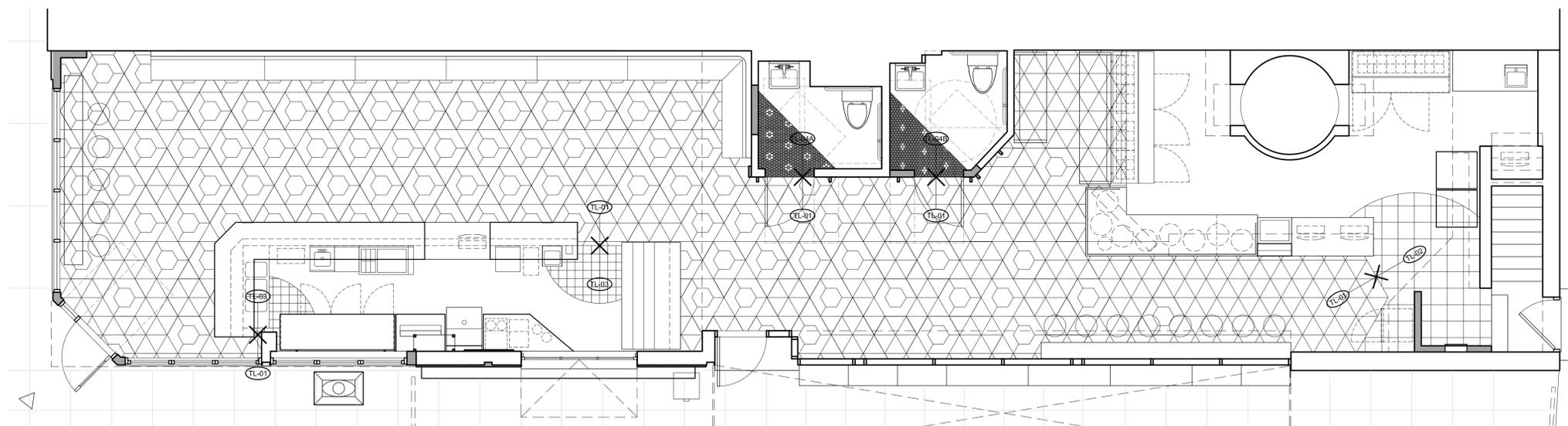
SHEET NO.

A102



ROOF PLAN
ROOFING AND ROOF-TOP EQUIP. TO REMAIN AS-IS; PROVIDE CEMENT FIBER BOARD SCREENING @ RTU'S #1 & #2 AS SHOWN.

2 ROOF PLAN
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'



1 FINISHES FLOOR PLAN
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'



FINISHES PLAN

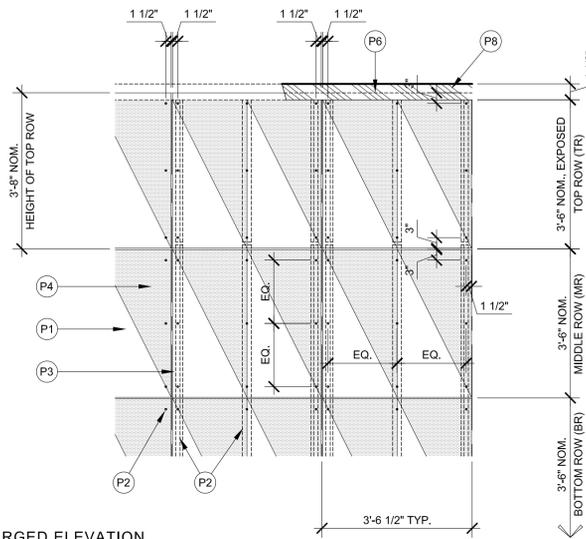
- 41 -
- 42 -

PANEL NOTES

- PRIOR TO INSTALLING CLADDING ASSEMBLY OVER EXIST. EXTERIOR WALLS, CONTRACTOR SHALL INSPECT WALLS, REMOVE LOOSE PAINT, AND RE-POINT WHERE NECESSARY.
- MAX. SPACING OF FASTENERS TO BE VERIFIED AND SET BY CLADDING SUPPLIER. CONTRACTOR SHALL ADJUST FURRING LAYOUT ACCORDINGLY.

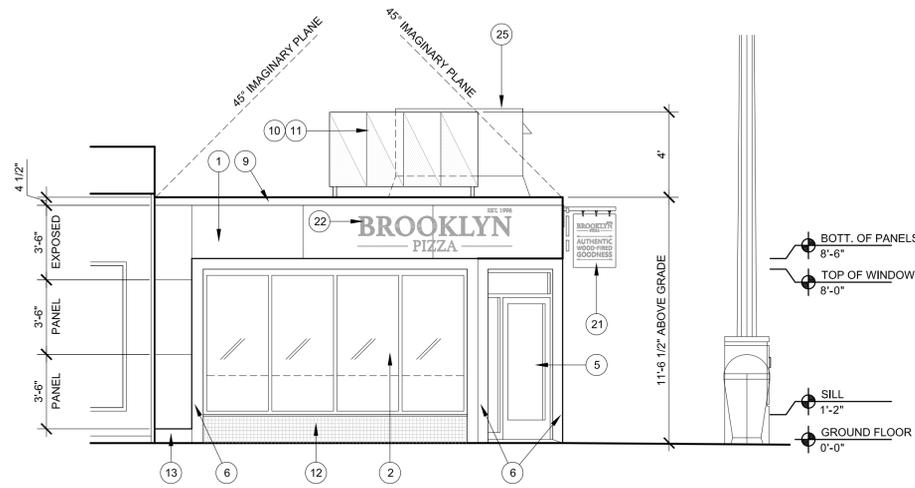
KEYED NOTES

- ENLARGED PANEL ELEVATION**
- (P1) PAINTED, 8MM (5/16") THICK MINERIT HD FIBER CEMENT PANEL ON 1-1/2" GALV. METAL FURRING. REFER TO MANUFAC. INSTALL INSTRUCTIONS FOR MORE INFO.
 - (P2) PRE-DRILLED HOLE BY FIBER CEMENT PANEL SUPPLIER
 - (P3) 3/8" OPEN JOINT BETWEEN PANELS
 - (P4) PAINTED ACCENT TRIANGLE, COLOR TBD.
 - (P5) HIDDEN LINES INDICATES LOCATION OF VERTICAL FURRING
 - (P6) HIDDEN LINE INDICATE TOP EDGE OF TOP ROW BEHIND METAL COPING
 - (P7) PERFORATED METAL VENT AT BOTTOM EDGE OF CLADDING, FURNISHED BY SUPPLIER, INSTALLED BY CONTRACTOR (NOT SHOWN)
 - (P8) NEW ALUMINUM COPING, COLOR: WHITE



ENLARGED ELEVATION (TYP. PANEL LAYOUT)

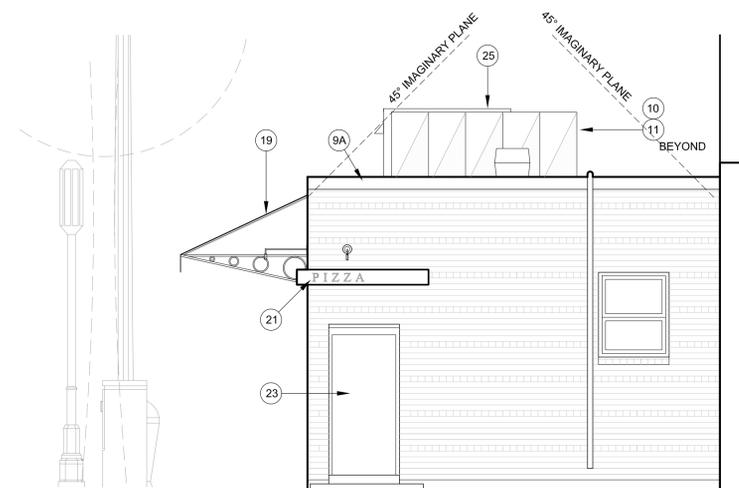
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'



NORTH ELEVATION (MAPLE ROAD)

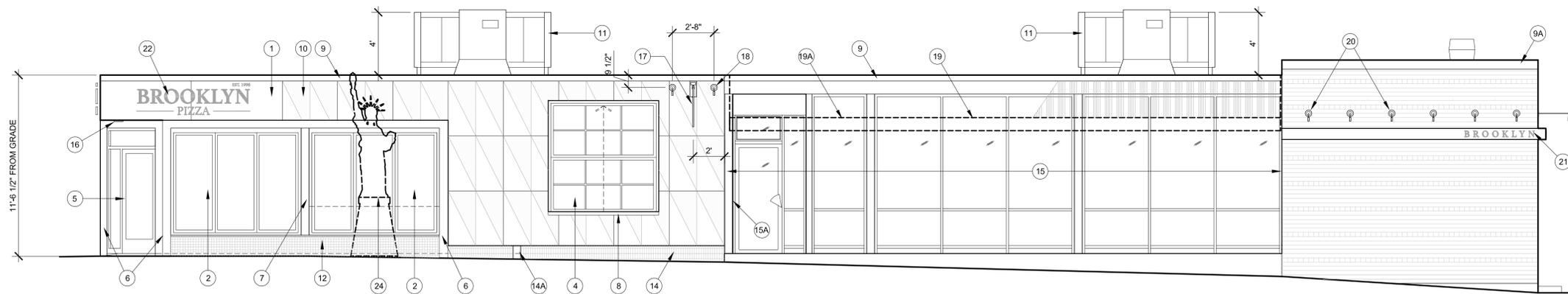
SCALE: 1/4" = 1'-0"
0' 3' 6' 9'

NOTE: AREA OF GLAZING = 70% OF FACADE



SOUTH ELEVATION (PUBLIC ALLEY)

SCALE: 1/4" = 1'-0"
0' 3' 6' 9'



WEST ELEVATION (HENRIETTA STREET)

SCALE: 1/4" = 1'-0"
0' 3' 6' 9'

NOTE: AREA OF GLAZING = 70% OF FACADE

SHEET NOTES

- BUILDING HEIGHTS ARE DESIGNATED BY A 'DATUM TAG' AND MEASURED FROM THE FLOOR SLAB INSIDE 111 HENRIETTA, ALSO KNOWN AS GROUND FLOOR, FIN. FLR. ELEV. 0'-0". THE HEIGHT OF THE FLOOR SLAB INSIDE 195 W. MAPLE IS UNKNOWN BUT IS BELIEVED TO BE AT THE SAME LEVEL.

KEYED NOTES

- NEW 8MM MINERIT HD (FIBER CEMENT) RAINSCREEN FACADE BOARDS ON 7/8" GALV. METAL FURRING; PAINT BOTH SIDES OF BOARDS PER MANUFAC. INSTRUCTIONS. COLORS: TBD.
- CLEAR ANODIZED, THERM. BROKEN ALUM. STOREFRONT WINDOW FRAME BY RAMCO W/ 1" I.G.U.
- CLEAR ANODIZED, THERM. BROKEN ALUM. "CAFE" (FOLDING) WINDOW BY RAMCO W/ 1" I.G.U.
- DOUBLE GLAZED SST-11 HYDRAULIC BI-FOLD WINDOW BY CROWN DOORS OR EQUAL, IN "WHITE ALUMINUM" (RAL 9006)
- CLEAR ANODIZED ALUM. STOREFRONT DOOR, SIDELITE, & TRANSOM BY RAMCO
- 18 GAUGE +/- CLEAR ANODIZED ALUM. BRAKE METAL CASING; SEE DETAILS ON SHEET XXXX FOR MORE INFO.
- PRIME & PAINT EXIST. COLUMN; COLOR: TBD
- 10 GAUGE +/- CLEAR ANODIZED ALUM. BRAKE METAL SILL & JAMBS. SEE DETAILS ON SHEET XXX FOR MORE INFO.
- NEW ALUMINUM COPING, COLOR: WHITE
- EXISTING COPING TO REMAIN
- SHADED AREA INDICATES ACCENT COLOR; SEE ENLARGED DETAILS FOR MORE INFO.
- NEW EQUIP SCREEN = 8MM MINERIT HD (FIBER CEMENT) FACADE BOARDS ON 7/8" GALV. METAL FURRING ON GALV. METAL FRAMING STRUT; PAINT BOTH SIDES OF BOARDS PER MANUFAC. INSTRUCTIONS, COLORS: TBD.
- CERAMIC TILE ON CEMENT BACKER BOARD MANUFACTURER / PRODUCT: DAL TILE, NATURAL HUES, 2X2 FIELD TILE. COLOR: BLACK QH45 GROUT COLOR: CHARCOAL, SUBMIT SAMPLES FOR APPROVAL
- PAINTED CEMENT PARGING ON CEMENT BACKER BOARD, COLOR: TBD
- EXISTING TILE TO REMAIN
- PRIME AND PAINT EXPOSED PORTION OF EXIST. COLUMN, COLOR: TBD
- RE-PAINT EXISTING STOREFRONT INCLUDING WINDOW FRAMES, DOOR FRAME, DOOR, FASCIA BOARD, EXPOSED COLUMNS, & UNDERSIDE OF SOFFIT; COLOR: TBD
- PRIME AND PAINT SIDE WALL @ ENTRANCE, COLOR: SAME AS KEY NOTE #15
- NEW 7'8" 'SLIM SURFACE' LED DOWNLIGHT BY SIGNIFY ON CEILING ABOVE CORNER ENTRANCE
- RE-INSTALL EXISTING PROJECTING HERE
- RE-INSTALL (2) EXISTING SIGN LIGHTS HERE
- DASHED LINE INDICATES EXTENT OF EXIST. AWNING; PROTECT AWNING THROUGHOUT CONSTRUCTION, AWNING TO REMAIN AS-IS
- EXIST. VINYL LETTERS ATTACHED TO EXIST. AWNING TO REMAIN
- EXISTING LIGHT FIXTURES TO REMAIN AS-IS
- OWNER TO REPLACE DETERIORATING SIGN WITH MATCHING AND/OR COMPARABLE SIGN; REFER TO SIGN DRAWINGS FOR MORE INFO.
- NEW "HALO" BACKLIT LETTERS BY OWNER; CONTRACTOR TO PROVIDE POWER SOURCE; REFER TO SIGN DRAWINGS FOR MORE INFO.
- PAINT EXIST. EXTERIOR DOOR & DOOR FRAME, COLOR: TBD.
- RE-LOCATE EXIST. STATUE OF LIBERTY HERE, @ CENTER OF WINDOW OPENING
- EXISTING RTU TO REMAIN AS-IS; REFER TO ROOF PLAN FOR MORE INFO.

PROJECT TITLE:

BROOKLYN PIZZA EXPANSION
Birmingham, Michigan

Location
111 Henrietta Street
Birmingham, MI 48009

contact / owner
Hani "Sam" Abdelfatah

ARCHITECT:

D MET design
architecture studio

Midtown Detroit
15 E. Kirby, suite 103
Detroit, MI 48202

phone
313.401.5181

contact
Joel T. Schmidt, RA
dmetdesign@gmail.com

www.dmetdesign.com

CONSULTANTS:

ISSUED FOR:

SLUP APP, DRAFT JUL 5, 2019
SLUP APP. & HDC SEP 17, 2019

STAMP:

SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NO.

A201

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 Birmingham, Michigan

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STAMP:

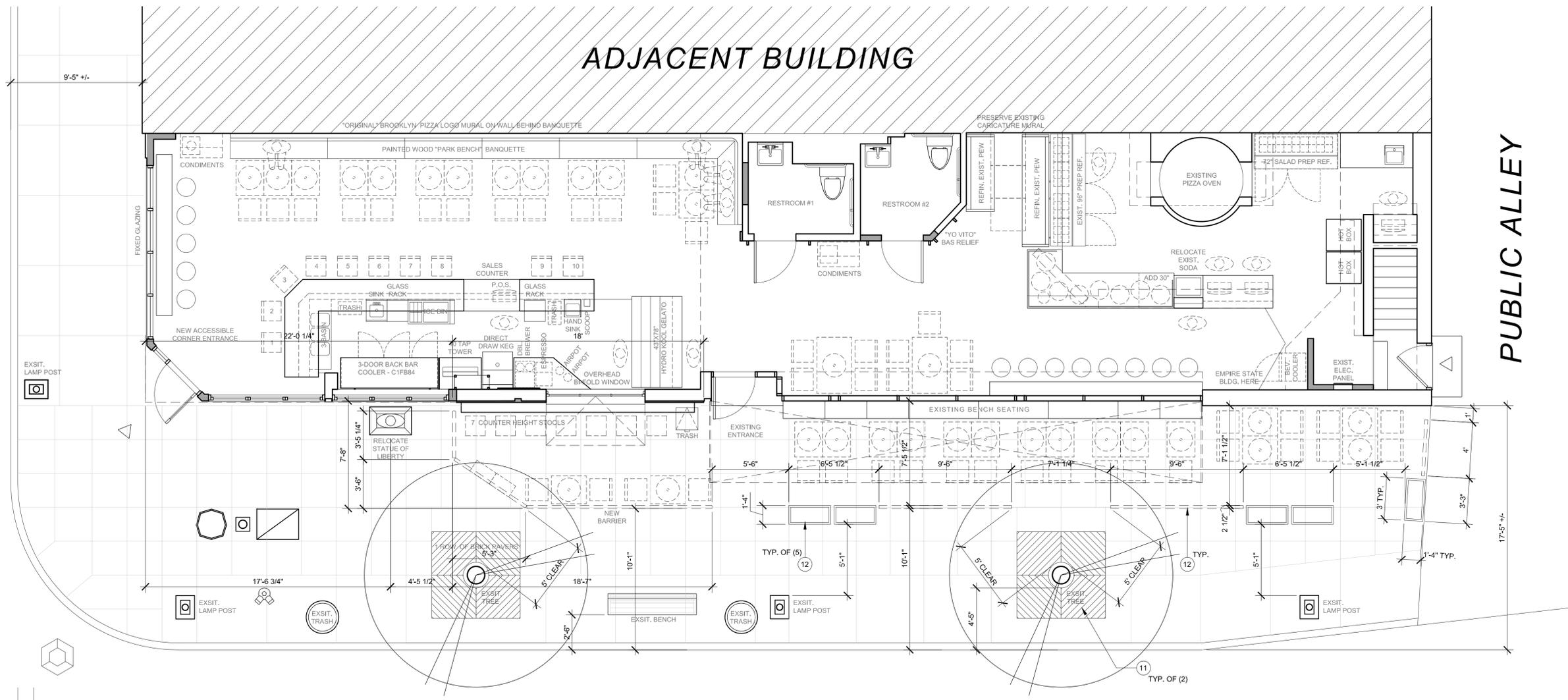
SHEET NAME:
SITE PLAN / OUTDOOR PATIO

SHEET NO.
A300

- KEYED NOTES**
- OUTDOOR DINNING/SITE PLAN**
- 11 PROVIDE NEW STREET GRATE AT EXISTING STREET TREE; CONTACT CITY OF BIRMINGHAM PUBLIC WORKS DEPARTMENT FOR MORE INFO.
 - 12 NEW FIBERGLASS PLANTER, BLACK; REFER TO OUTDOOR FURNITURE SCHED. FOR MORE INFO.
 - 13 NEW CUSTOM METAL RAILING, BLACK; REFER TO OUTDOOR FURNITURE SCHED. FOR MORE INFO.

MAPLE ROAD

PUBLIC ALLEY



HENRIETTA STREET

PLAN OF PROPOSED
 RIGHT-OF-WAY IMPROVEMENTS

1 SCALE: 1/4" = 1'-0"

0' 3' 6' 9'

NORTH

NOTE: FULL SIZE SHEET = 24" x 36" SOME DISTORTION MAY OCCUR WHEN PRINTING.

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EXISTING CONDITIONS PLAN

BOUNDARY SURVEY



LOCATION MAP
NOT TO SCALE



LEGEND OF SYMBOLS & ABBREVIATIONS

- PROPERTY LINE
- SET IRON W/CAP43058
- FOUND IRON/PIPE/MONINAIL (F/FP/FM/FN)
- ⊙ SECTION CORNER
- Ⓢ EASEMENTS
- Ⓢ ENCROACHMENTS
- BH BUILDING HEIGHT
- L/S LANDSCAPING
- Ⓢ REGULAR PARKING SPACES
- Ⓢ HANDICAP PARKING SPACES
- Ⓢ SANITARY CLEAN OUT, MANHOLE
- Ⓢ STORM END SECTION, MANHOLE
- Ⓢ CATCH BASIN SQUARE, ROUND
- Ⓢ HYDRANT, GATE VALVE
- Ⓢ WATER KEY, SHUT-OFF, WATER METER
- Ⓢ FIRE DEPARTMENT CONNECTION
- Ⓢ UNKNOWN MANHOLE, COMBINED MANHOLE
- Ⓢ GAS KEY, GAS METER, GAS VALVE
- ☆ LIGHT POLE
- Ⓢ ELECTRIC METER/PEDESTAL
- Ⓢ TRANSFORMER
- Ⓢ UTILITY LINE O/H, POLE, GUY WIRE
- Ⓢ UTILITY PEDESTAL
- Ⓢ FLAGPOLE
- FENCE
- WALL
- GUARD RAIL
- OVERHANG
- Ⓢ DECIDUOUS TREE



SCALE: 1" = 30'
0' 15' 30' 60'

LEGAL DESCRIPTION

Parcel #19-36-129-001 (from Tax Records)
Lot 6 except the South 9.00 feet, of Merrill's Plat, Section 36, Town 2 North, Range 10 East, City of Birmingham, Oakland County Records, 193 W Maple Rd., Birmingham, MI 48009

SURVEYOR'S NOTES

Since our Survey work does not include a Title Search, there may be easements and/or encumbrances upon the land which are not shown on our Survey at this time.

CERTIFICATION

I hereby certify that I surveyed and mapped the land above platted and described on August 5, 2019.
And that the ratio of closure on the unadjusted filed observations of such survey was within accepted limits.

Derek Kosicki
Derek Kosicki, P.S.#43058
Professional Surveyor



MICHIGAN SURVEYING, INC.
37637 Five Mile Rd., Suite 364, Livonia, MI 48154
tel. (734) 542-9088, fax (734) 799-5737
www.MichiganSurveying.com

R-1 08/08/19 MISC
↑ REVISIONS ↑
DATE: 08/05/19

EXISTING CONDITIONS PLAN	DRAWN: KT
111 HENRIETTA ST. & 195 W. MAPLE ST.	CHECKED: DK
BIRMINGHAM, MI 48009	SCALE: 1"=30'
CLIENT: 111 BROOKLYN, INC.	JOB No: 19-165
	SHEET: 1of1



MEMORANDUM

Planning Division

DATE: October 17th, 2019

TO: Planning Board Members

FROM: Nicholas Dupuis, City Planner

APPROVED: Jana Ecker, Planning Director

SUBJECT: 344 N. Old Woodward – Preliminary Site Plan Review

The applicant has submitted a Preliminary Site Plan Review application for proposed additions to an existing commercial building in Downtown Birmingham. The subject site is located in the Downtown Overlay District (D3) just north of Oakland Ave. on the east side of N. Old Woodward. The project consists of a proposed 4th story addition to be comprised of six residential units, an expansion to the rear of floors 2 and 3, and some façade alterations to integrate the 4th floor design together with the first three floors. The proposed 4th floor will consist of three single bedroom units (931, 937, & 1,040 sq. ft.) and three two-bedroom units (1,297, 1,400 & 1,428 sq. ft.). The current building is roughly 18,231 square feet and is comprised of 1st floor commercial/retail, while floors 2 and 3 are currently office. The Downtown Overlay District standards outlined in Article 3, Section 3.04(C)(9) state that an office use is limited to one story in the D3 Overlay Zoning District. Because the subject building was erected prior to the adoption of the Downtown Overlay Standards, the existing two office floors are considered legal non-conforming. However, the proposed expansion of the two office floors require the applicant to bring the building up to the current ordinances pursuant to Article 6, Section 6.02(A)(3) which states that:

The use or building shall not be extended or enlarged except as herein provided. Nonconforming buildings may be extended or enlarged, provided that the extension or enlargement does not itself violate any provision of the Zoning Ordinance. Where the extension or enlargement will violate any provision of the Zoning Ordinance, application for a variance shall be made to the Board of Zoning Appeals pursuant to Section 8.01(F).

Therefore, **the applicant must submit revised plans showing only one floor of office use, or obtain a variance from the Board of Zoning Appeals for the proposed expansion of two floors with office uses.**

The total building square footage with the proposed additions, as reported by the applicant, is 31,792 sq. ft., with the original structure starting at 18,231 sq. ft. According to Article 7, Section 7.27(E)(2), the proposed addition to an existing structure under 20,000 sq. ft. in area may require a Community Impact Study if the Planning Board determines the following issues are present with the proposed addition:

1. Planning/zoning issues, including conformance with master plan, urban design plan, this

- chapter, and other applicable city codes and policies.
2. Land development issues, including topographic and soil conditions and site safety concerns.
 3. Private utilities consumption, including electrical needs and natural gas utilization.
 4. Noise level conditions.
 5. Air quality conditions.
 6. Environmental design and historic values including visual quality and historic resources.
 7. Community facilities and services, including refuse collection, sanitary and storm sewer, and water supply.
 8. Public safety needs, including police, fire and emergency medical services.
 9. Open space landscaping and recreation, including cultural elements.
 10. Transportation issues, including pedestrian access and circulation, auto and delivery vehicle traffic, and parking concerns.
 11. Natural features preservation, enhancement, and/or replacement.
 12. Other information as reasonably may be required by the city to assure an adequate analysis of all existing and proposed site features and conditions.

The Planning Board may wish to require a Community Impact Study based on the anticipated impacts of the proposed additions to the neighboring properties and the community.

1.0 Land Use and Zoning

1.1 Existing Land Use – The site is currently used as commercial/office.

1.2 Zoning – The property is zoned B-2 (General Business), and D-3 in the Downtown Overlay District.

1.3 Summary of Adjacent Land Use and Zoning – The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site, including the 2016 Regulating Plan.

	North	South	East	West
Existing Land Use	Office/ Commercial	Office/ Commercial	Residential	Residential
Existing Zoning District	B-2, General Business	B-2, General Business	R-2, Single Family Residential	R-6, Multiple Family Residential
Overlay Zoning District	D-3	D-3	N/A	D-4

2.0 Setback and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The proposed building expansion and 4th floor addition has the following bulk, area and placement issues:

1. The proposed setback with the expansion of the 2nd and 3rd floors is proposed at 10 ft. 3 in. Article 3, Section 3.04(B)(4) requires buildings in the Downtown Overlay district, in the absence of an alley, to match the rear setback of an existing adjacent building. The adjacent building to the south has a rear setback of roughly 14 ft. 9 in. **The applicant must submit revised plans matching the rear setback of the adjacent property, or obtain a variance from the Board of Zoning Appeals.**
2. The proposed 4th floor building façade is set back from the eave line 10 ft. as required by the Downtown Overlay Standards. However, the applicant is proposing an angled parapet wall with small angled partition walls following down to the floor to create separation and depth at the building façade. These architectural features project 2 ft. into the required 10 ft. setback.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The applicant is not proposing any changes to the existing dumpster or associated screening. The site plans indicate one existing dumpster located in the rear parking area that will remain in use by the site. Both the existing building and the existing rear screen wall currently on site screen the existing dumpster. The current dumpster and screening is considered legal non-conforming, as the current Zoning Ordinance requires trash receptacles to be screened with a 6 ft. masonry screen wall with wood gate. **The Planning Board may wish to require the applicant to provide a 6 ft. masonry screen wall with wood gates to screen the trash receptacle.**
- 3.2 Parking Lot Screening – The applicant is not proposing any new off-street parking facilities on site. The site does currently contain 10 off-street parking spaces located at the rear of the building which are screened by the building itself, as well as an existing rear screen wall. Existing site photographs appear to show the existing screenwall as a 6 ft. wood fence, which would be considered legal non-conforming, as Article 4, Section 4.54(B)(7) of the Zoning Ordinance states that for parking facilities that immediately adjoin the rear lot line of property located in a residential zone, a masonry screenwall of 6 feet is required. **The Planning Board may wish to require the applicant to provide a 6 ft. masonry screenwall to screen the rear parking facility.** A full analysis of the parking requirements is provided below.
- 3.3 Mechanical Equipment Screening – The applicant has indicated on the application that rooftop mechanical unit location and screening is to be determined. Aerial photos suggest at least 1 large rooftop mechanical unit (RTU) exist on the third floor roof. The applicant, however, has submitted an initial proposed rooftop plan showing the possible relocation of the existing RTU to the newly constructed 4th floor roof, as well as six new residential RTU's. The applicant has also indicated that they will utilize an 8 ft. screen wall to screen the RTU's, but has not yet submitted any material details on the screen wall or specification sheets on existing or proposed RTU's to ensure full screening. **The applicant must submit material details on the proposed screen wall and specification sheets on all proposed rooftop units to ensure full screening at Final Site Plan review.**

The applicant has also indicated that there is an existing transformer on site at the rear of the property in the parking area. Due to its location, the transformer is fully screened by the building and rear screen wall that currently exists on site.

3.4 Landscaping – There are no changes proposed to the landscaping on the site. The site currently contains potted plants and a small landscape bed on the N. Old Woodward frontage, as well as two street trees. The 2 existing street trees meet the requirements of Article 4, Section 4.20 (G) which requires 1 street tree per 40 ft. of frontage. The Planning Division or Planning Board must approve any additional proposed landscaping prior to installation.

3.5 Streetscape Elements – There are no changes proposed to the streetscape. There is currently one streetlight and no City-standard benches, waste receptacles, or bike racks on site. Existing site photos show at least 5 non-City standard benches in the front of the building. **The Planning Board may wish to require the applicant to install City-standard benches, bike racks, or waste receptacles.**

4.0 Parking, Loading and Circulation

4.1 Parking – The proposed development and its commercial use is located in the Downtown Parking Assessment District; thus, no parking is required on site for the commercial/office uses. However, the applicant is proposing six new residential units, which require 11 off-street parking spaces:

Unit Breakdown	# of Rooms	Parking Per Unit
Unit 1	3	2 spaces
Unit 2	3	2 spaces
Unit 3	2	1.5 spaces
Unit 4	3	2 spaces
Unit 5	2	1.5 spaces
Unit 6	2	1.5 spaces
Total:	-	11 spaces

The site currently contains 10 off-street parking spaces. Due to the proposed expansion of the 2nd and 3rd floors, and the addition of the 4th floor, the building will require support columns in the rear lot, which would leave 6 regular spaces and 1 barrier free space for a total of 7 off-street parking spaces available. The applicant is proposing to utilize the 7 proposed off-street parking spaces on site toward the off-street parking required by the proposed residential 4th floor addition. The applicant has not proposed a method of providing the other 4 required off-street parking spaces. Thus, **the applicant must provide 11 off-street parking spaces at Final Site Plan, or obtain a variance from the Board of Zoning Appeals.**

4.2 Loading – The applicant has indicated on the application that existing loading spaces will be utilized by the property post-expansion. The existing building is 18,231 sq. ft., which requires 1 off-street loading space. With the proposed addition to the 2nd and 3rd floors, the commercial floor area of the building will be pushed over 20,000 sq. ft.,

which requires 2 off street loading spaces 40 ft. long, 12 ft. wide, and 14 ft. high (40' x 12' x 14'). The applicant has not indicated on the site plans submitted where the two loading spaces are existing/proposed, but it is evident that the available space in the drive aisle and parking lot on site is unusable as loading space, as the opening is approximately 10 ft. high. Therefore, **the applicant must submit revised plans providing 2 off-street loading spaces 40' x 12' x 14' in dimension at Final Site Plan, or obtain a variance from the Board of Zoning Appeals.**

In addition, the applicant must resolve the issues regarding expanding non-conforming office uses through a variance to further resolve any loading space issues.

4.3 Vehicular Circulation and Access – The building is currently accessed by vehicles via a drive aisle that cuts through the north side of the building at roughly 25 ft. wide. No changes are proposed to the existing vehicular access on the site.

4.4 Pedestrian Circulation and Access – Pedestrian access to the building is currently via a public sidewalk and four doors along the front façade. The entrance for the proposed 4th floor residential units will be the northernmost door. The stairwell currently has access to the second floor tenant spaces as well. There are no changes proposed to the pedestrian circulation and access on site.

5.0 Lighting

Although the renderings submitted show a light bar on the south façade, the applicant is not proposing any changes to the lighting on the site at this time. The Planning Division or Planning Board must approve any new lighting proposed before it may be installed.

6.0 Departmental Reports

6.1 Engineering Division – The Engineering Division has submitted the following comments:

The Engineering Dept. has reviewed the undated plan package received this month. We have the following comments to offer at this time:

1. The proposal does not materially change the relationship of this building with the adjacent right-of-way. It is anticipated that the applicant will be responsible to repair any damage to the sidewalk streetscape across the frontage of the building so that it matches or improves the current condition of the City sidewalk in this area.
2. Construction of the building will be challenging. The City will expect that the City sidewalk will remain open and passable during the majority of the project, in order to provide adequate access to the buildings to the north and south. The parking spaces in front may be closed during construction to provide a work staging area, and a temporary protected City sidewalk shall be provided between the northbound lane of N. Old Woodward Ave., and said staging area.

Permits required by the Engineering Dept. will include:

- Sidewalk/Drive Approach Permit for any needed repairs.

- Right-of-way Permit (only if any changes are proposed to the underground water and sewer connections)
- Street Obstruction Permit

6.2 Department of Public Services – The Department of Public Services has no concerns at this time.

6.3 Fire Department – The Fire Department has submitted the following comments:

The proposed additions to this building will require:

1. With the addition of the residential occupancies, the entire building, including all areas of the existing building, will need a full fire suppression system.
2. The addition of the 2nd floor above the parking area will require the covered parking area to have fire suppression.
3. The building will require a fire alarm system, including occupant notification in the residential units, and occupant notification on the exterior balconies.
4. The exterior balconies may require fire suppression coverage, if gas lines are piped to them, if BBQ's are intended to be installed, or if any other fire features are to be installed on the balconies.
5. The building will be evaluated for Emergency Responder Radio signal strength, and may be required to install a bi-directional antenna system to meet the minimum signal strength requirements.

6.4 Police Department – The Police Department has submitted comments concerning the required parking on site and asked to be informed as to how the applicant will be providing the required parking.

6.5 Building Division – The Building Division has submitted the following comments:

As requested, the Building Department has examined the plans for the proposed project referenced above. The plans were provided to the Planning Department for site plan review purposes only and present conceptual elevations and floor plans. Although the plans lack sufficient detail to perform a code review, the following comments are offered for Planning Design Review purposes and applicant consideration:

Review Comments:

1. A fire rated exterior wall assembly will be required along the north property line at the ground level in accordance with Chapter 5 and 6 of the building code.
2. A fire rated exterior wall assembly will be required along the south property line at the ground level in accordance with Chapter 5 and 6 of the building code.
3. A fire rated exterior wall assembly may be required along the east property line at the ground level in accordance with Chapter 5 and 6 of the building code depending on the construction type and fire separation distance.

7.0 Design Review

As noted in the introduction of this report, the applicant is proposing a 2nd and 3rd story expansion and a 4th story addition with minor façade alterations to connect the existing design with the new. The materials detailed in the submitted plans and specification sheets are in accordance with Article 3, Section 3.04(E)(1) which states "at least 90% of the exterior finish material on all facades that face a street shall be limited to the following: glass, brick, cut stone, cast stone, coarsely textured stucco, or wood." The applicant is proposing to keep the existing brick and glazing, which appears to meet the ordinance, but no calculation has been provided to ensure adherence to the architectural standards. **The applicant must provide calculations showing that at least 90% of the exterior finish material on all facades are glass, brick, cut stone, cast stone, coarsely textured stucco, or wood.** The applicant is proposing to finish the proposed 4th floor with large glass windows with "extra dark bronze" colored aluminum frames, "midnight bronze" prefinished metal, and "light cherry" wood grain aluminum planks. The applicant is proposing to extend the new materials to the storefront by adding the same prefinished metal panel systems along the sign band area.

The Downtown Overlay Standards also require all flat roofs to be enclosed with a parapet. The applicant is proposing a prefinished metal "midnight bronze" parapet.

Article 3, Section 3.04(E)(6) states that "the glazed area of a facade above the first floor shall not exceed 35% of the total area, with each façade being calculated independently." The applicant has submitted glazing calculations for the *new additions only* showing a glass to facade ratio of 427.8/1094 sq. ft., or 39%. The applicant has not submitted glazing calculations for the entire building. **The applicant must submit glazing calculations for the entire south façade elevation of the building to ensure that 35% or less glazing standards are met with the addition of the 4th floor.** The newly proposed glazing must also meet the requirements of Article 4, Section 4.90(A)(2) which permits windows above the first floor to be lightly tinted with a minimum visible light transmittance of 70%. **The applicant must submit a calculation showing lightly tinted glazing with a visual light transmittance of 70% or higher for all newly proposed glazing.** No changes are proposed to the glass on floors 1, 2 or 3.

A full Design Review will be conducted at Final Site Plan Review, in which the applicant will be required to supply specification sheets and samples of all proposed exterior building materials.

8.0 Required Attachments

Article 7, Section 7.26 states that Each Site Plan submitted to the Planning Board in accordance with the requirements of the Zoning Ordinance shall be on such forms and contain such information as the Planning Board shall determine necessary, including but not limited to a site plan, photometric plan, landscape plan, elevation drawings, interior floor plans, current aerial photos of the subject site and surrounding properties, specification sheets for all lighting and exterior mechanical equipment, and samples of all

exterior building materials. All site plans submitted for review and approval must show the subject site in its entirety, must include all property lines, buildings and structures, and must show the same details for all adjacent properties within 200 feet of the subject site's property lines.

The applicant has submitted the following documents:

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevation Drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing Site Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Proof of Ownership	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- 1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- 2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- 3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property and not diminish the value thereof.
- 4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- 5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- 6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

10.0 Recommendation

Based on a review of the site plan revisions submitted, the Planning Division recommends that the Planning Board **POSTPONE** the Preliminary Site Plan for 344 N. Old Woodward – pending receipt of the following:

1. The applicant must submit revised plans showing only one floor of office use, or obtain a variance from the Board of Zoning Appeals for the proposed expansion of the two floors of office use;
2. The applicant must submit revised plans matching the rear setback of the adjacent property, or obtain a variance from the Board of Zoning Appeals;
3. The applicant must submit material details on the proposed rooftop mechanical screen wall and specification sheets on all proposed rooftop units to ensure full screening at Final Site Plan review;
4. The applicant must provide 11 off-street parking spaces at Final Site Plan, or obtain a variance from the Board of Zoning Appeals;
5. The applicant must submit revised plans providing 2 off-street loading spaces 40' x 12' x 14' in dimension at Final Site Plan, or obtain a variance from the Board of Zoning Appeals;
6. The applicant must provide calculations showing that at least 90% of the exterior finish material on all facades are glass, brick, cut stone, cast stone, coarsely textured stucco, or wood at Final Site Plan;
7. The applicant must submit glazing calculations for the entire south façade elevation of the building to ensure that 35% or less glazing standards are met with the addition of the 4th floor at Final Site Plan;
8. The applicant must submit a calculation showing a visual light transmittance of 70% or higher for all newly proposed glazing at Final Site Plan;
9. The applicant must submit all required attachments at Final Site Plan, including the existing conditions plan and material samples to complete the Design Review; and
10. The applicant comply with the requests of all City departments.

11.0 Sample Motion Language

Motion to **POSTPONE** the Preliminary Site Plan Review for 344 N. Old Woodward – pending receipt of the following:

1. The applicant must submit revised plans showing only one floor of office use, or obtain a variance from the Board of Zoning Appeals for the proposed expansion of the two floors of office use;
2. The applicant must submit revised plans matching the rear setback of the adjacent property, or obtain a variance from the Board of Zoning Appeals;
3. The applicant must submit material details on the proposed rooftop mechanical screen wall and specification sheets on all proposed rooftop units to ensure full screening at Final Site Plan review;
4. The applicant must provide 11 off-street parking spaces at Final Site Plan, or obtain a variance from the Board of Zoning Appeals;
5. The applicant must submit plans providing 2 off-street loading spaces 40' x 12' x

- 14' in dimension at Final Site Plan, or obtain a variance from the Board of Zoning Appeals;
6. The applicant must provide calculations showing that at least 90% of the exterior finish material on all facades are glass, brick, cut stone, cast stone, coarsely textured stucco, or wood at Final Site Plan;
 7. The applicant must submit glazing calculations for the entire south façade elevation of the building to ensure that 35% or less glazing standards are met with the addition of the 4th floor at Final Site Plan;
 8. The applicant must submit a calculation showing a visual light transmittance of 70% or higher for all newly proposed glazing at Final Site Plan;
 9. The applicant must submit all required attachments at Final Site Plan, including the existing conditions plan and material samples to complete the Design Review; and
 10. The applicant comply with the requests of all City departments.

OR

Motion to **DENY** the Preliminary Site Plan Review for 344 N. Old Woodward – for the following reasons:

1. _____
2. _____
3. _____

OR

Motion to **ACCEPT** the Preliminary Site Plan Review for 344 N. Old Woodward – pending receipt of the following:

1. The applicant must submit revised plans showing only one floor of office use, or obtain a variance from the Board of Zoning Appeals for the proposed expansion of the two floors of office use;
2. The applicant must submit revised plans matching the rear setback of the adjacent property, or obtain a variance from the Board of Zoning Appeals;
3. The applicant must submit material details on the proposed rooftop mechanical screen wall and specification sheets on all proposed rooftop units to ensure full screening at Final Site Plan review;
4. The applicant must provide 11 off-street parking spaces at Final Site Plan, or obtain a variance from the Board of Zoning Appeals;
5. The applicant must submit plans providing 2 off-street loading spaces 40' x 12' x 14' in dimension at Final Site Plan, or obtain a variance from the Board of Zoning Appeals;
6. The applicant must provide calculations showing that at least 90% of the exterior finish material on all facades are glass, brick, cut stone, cast stone, coarsely textured stucco, or wood at Final Site Plan;
7. The applicant must submit glazing calculations for the entire south façade elevation of the building to ensure that 35% or less glazing standards are met with the addition of the 4th floor at Final Site Plan;

8. The applicant must submit a calculation showing a visual light transmittance of 70% or higher for all newly proposed glazing at Final Site Plan;
9. The applicant must submit all required attachments at Final Site Plan, including the existing conditions plan and material samples to complete the Design Review; and
10. The applicant comply with the requests of all City departments.

**Zoning Compliance Summary Sheet
Preliminary Site Plan Review
344 N Old Woodward**

Existing Site: 3 story commercial & office building

Zoning: B-2 (General Business) & D-3 (Downtown Overlay)

Land Use: Commercial/Office

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Office/ Commercial	Office/ Commercial	Residential	Residential
Existing Zoning District	B-2, General Business	B-2, General Business	R-2, Single Family Residential	R-6, Multiple Family Residential
Overlay Zoning District	D-3	D-3	N/A	D-4

Land Area:	Existing:	0.26 acres
	Proposed:	0.26 acres (no changed proposed)
Dwelling Units:	Existing:	0 units
	Proposed:	6 units
Minimum Lot Area/Unit:	Required:	1,280 sq. ft. (multiple family) x 6 units = 7,680 sq. ft.
	Proposed:	11,200 sq. ft.
Min. Floor Area /Unit:	Required:	300 sq. ft. (single story hotel or motel) 600 sq. ft. (efficiency and one bedroom) 800 sq. ft. (two or more bedroom)
	Proposed:	931, 937, 1040 sq. ft. – one bedroom 1297, 1400, 1428 sq. ft. – two bedroom

Max. Total Floor Area:	Required:	200% for offices except in Parking Assessment District 100% in Parking Assessment District Not applicable for residential and parking uses
	Proposed:	N/A in Downtown Overlay
Min. Open Space:	Required:	N/A
	Proposed:	N/A (no changes proposed)
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A (no changes proposed)
Front Setback:	Required:	0 ft. 10 ft. on 4 th floor bonus
	Proposed:	4 ft. on 1 st floor (no changes proposed) 0 ft. on 2 nd and 3 rd floors (no changes proposed) 10 ft. on 4 th floor bonus
Side Setbacks	Required:	0 ft.
	Proposed:	0 ft. (no changes proposed)
Rear Setback:	Required:	Equal to adjacent pre-existing building (14 ft. 9 in.)
	Proposed:	10 ft. 3 in.
		The applicant must match the rear setback of the adjacent property, or obtain a variance from the Board of Zoning Appeals
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A (no changes proposed)
Max. Bldg. Height:	Permitted:	68 ft., 4 stories if 4 th floor is residential
	Proposed:	56 ft. 4 in., 4 stories w/ 4 th floor residential
Min. Eave Height:	Required:	20 ft.
	Proposed:	N/A (no changes proposed)
Floor-Ceiling Height:	Required:	N/A
	Proposed:	N/A (no changes proposed)
Front Entry:	Required:	On frontage line
	Proposed:	On frontage line (no changes proposed)
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A (no changes proposed)
Opening Width:	Required:	25 ft.

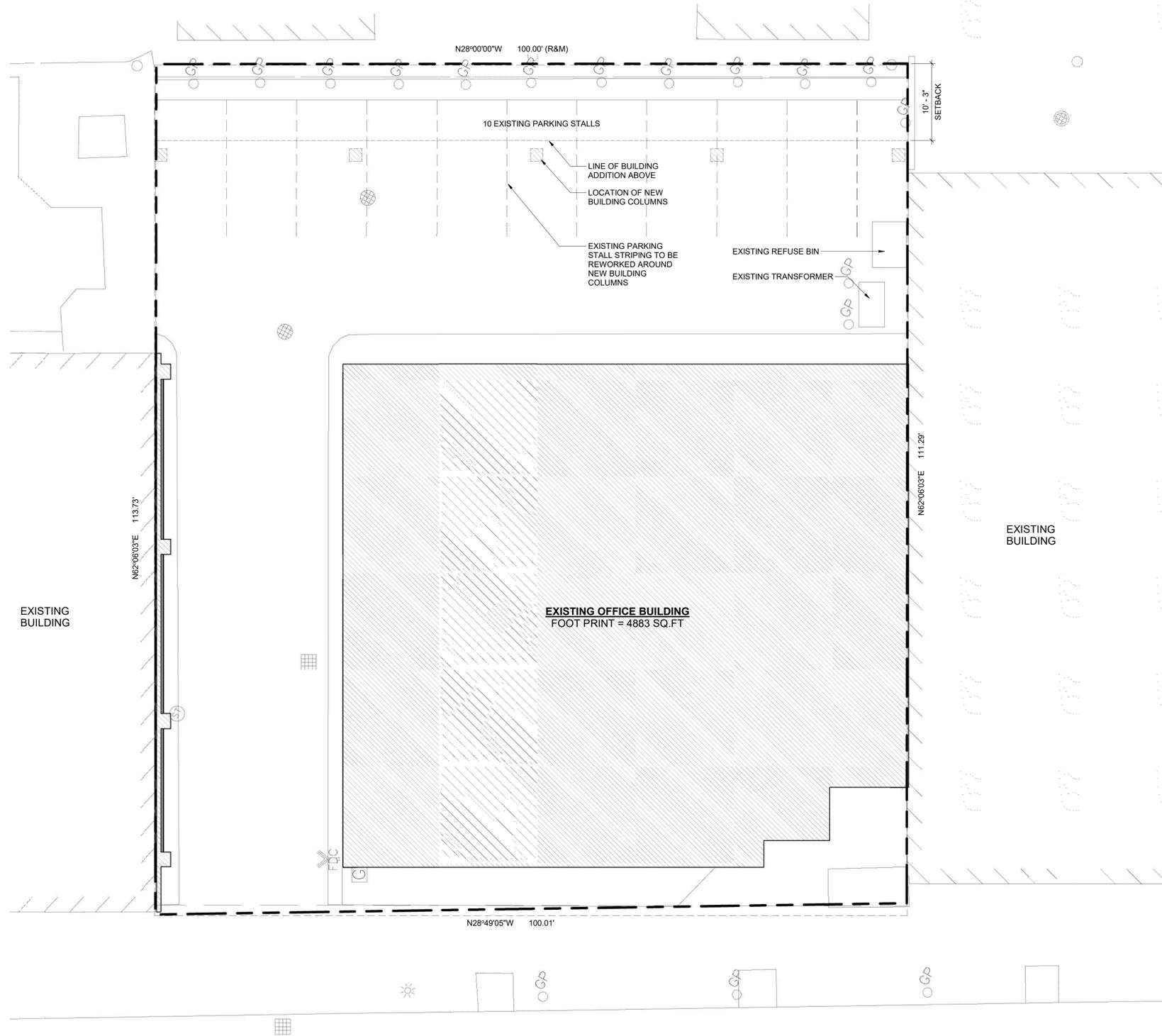
	Proposed:	25 ft.
Parking:	Required:	11 off-street spaces
	Proposed:	7 off-street spaces
		The applicant must provide 11 off-street parking spaces at Final Site Plan, or obtain a variance from the Board of Zoning Appeals
Min. Parking Space Size:	Required:	180 sq. ft.
	Proposed:	180 sq. ft.
Parking in Frontage:	Required:	N/A
	Proposed:	N/A (no changes proposed)
Loading Area:	Required:	2 off-street loading spaces
	Proposed:	0 off-street loading spaces
		The applicant must provide 2 off-street loading spaces 40' x 12' x 14' in dimension at Final Site Plan, or obtain a variance from the Board of Zoning Appeals
Screening:		
	<u>Parking:</u>	Required: 6 ft. masonry screen wall
		Proposed: No details provided on existing screenwall
	<u>Loading:</u>	Required: Screened from view
		Proposed: No loading spaces provided
	<u>Rooftop Mechanical:</u>	Required: Screened from view
		Proposed: 8 ft. screen wall (no material details)
	<u>Elect. Transformer:</u>	Required: Obscured from public view
		Proposed: Screened by building
	<u>Dumpster:</u>	Required: Masonry screenwall with wood gates
		Proposed: Screened by building and existing rear screen wall

Proposed Addition and Renovation

344 N. Old Woodward Ave, Birmingham, MI

Sheet List

Title Sheet	SD-000
EXISTING/DEMO SITE PLAN	SD-100
EXISTING CONDITIONS PLAN	SD-101
NEW SITE PLAN	SD-102
DEMO PLANS	SD-200
1ST FLOOR PLAN	SD-201
2ND FLOOR PLAN	SD-202
3RD FLOOR PLAN	SD-203
4TH FLOOR PLAN	SD-204
ROOF PLAN	SD-205
ELEVATIONS	SD-301
ELEVATIONS	SD-302
RENDERINGS	SD-303
BUILDING SECTION	SD-401

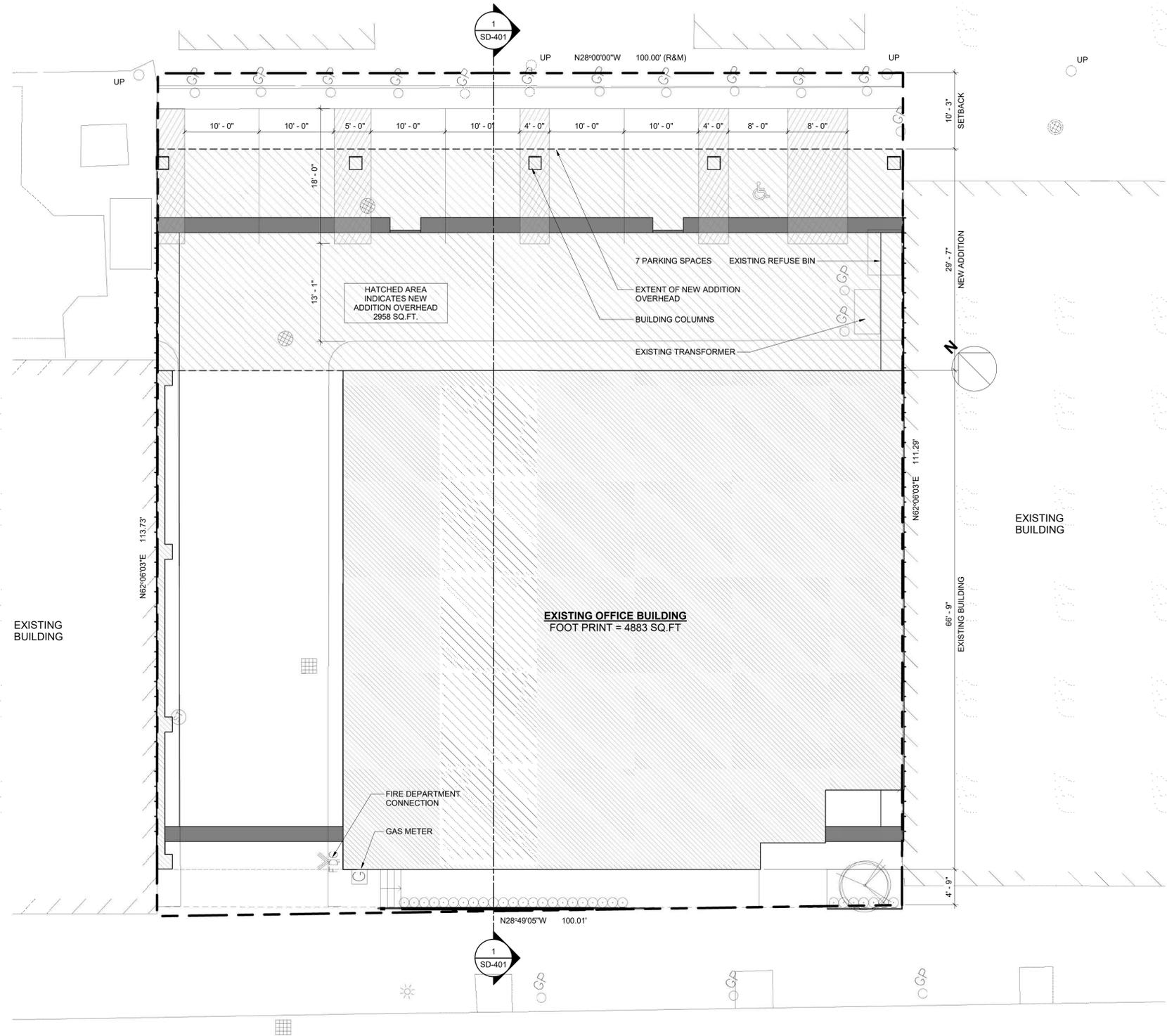


1
401
EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

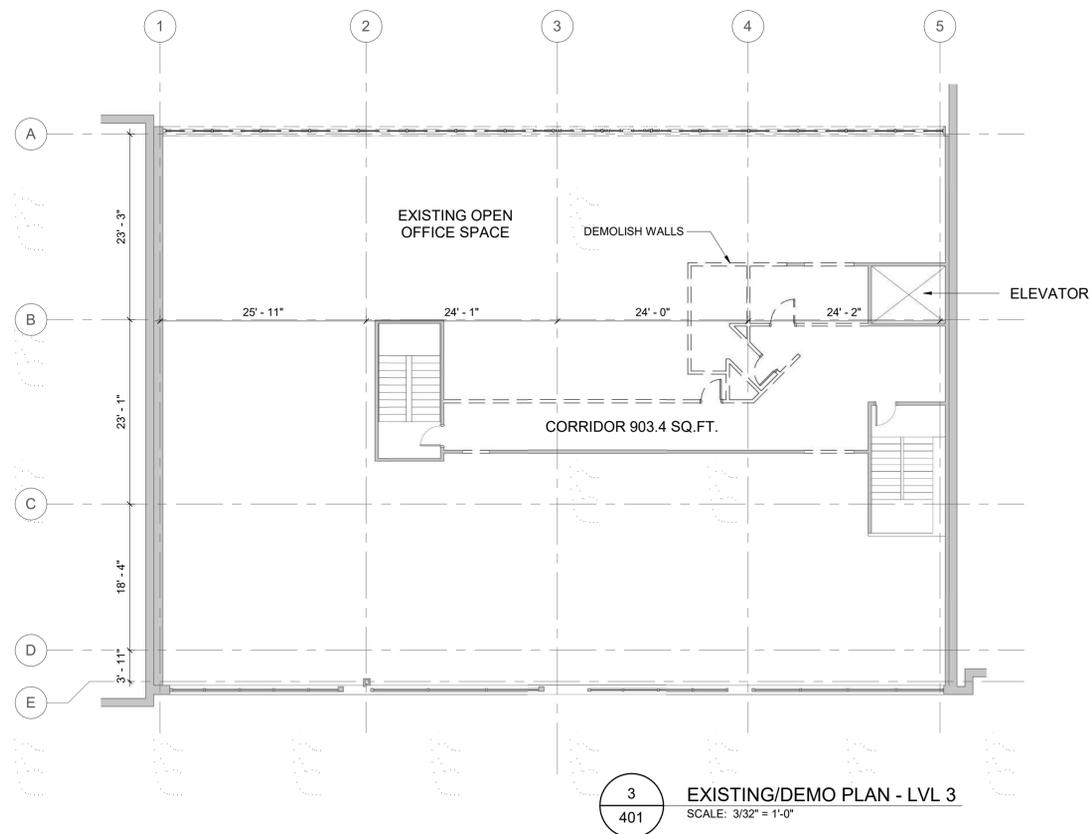


BUILDING & SITE DATA

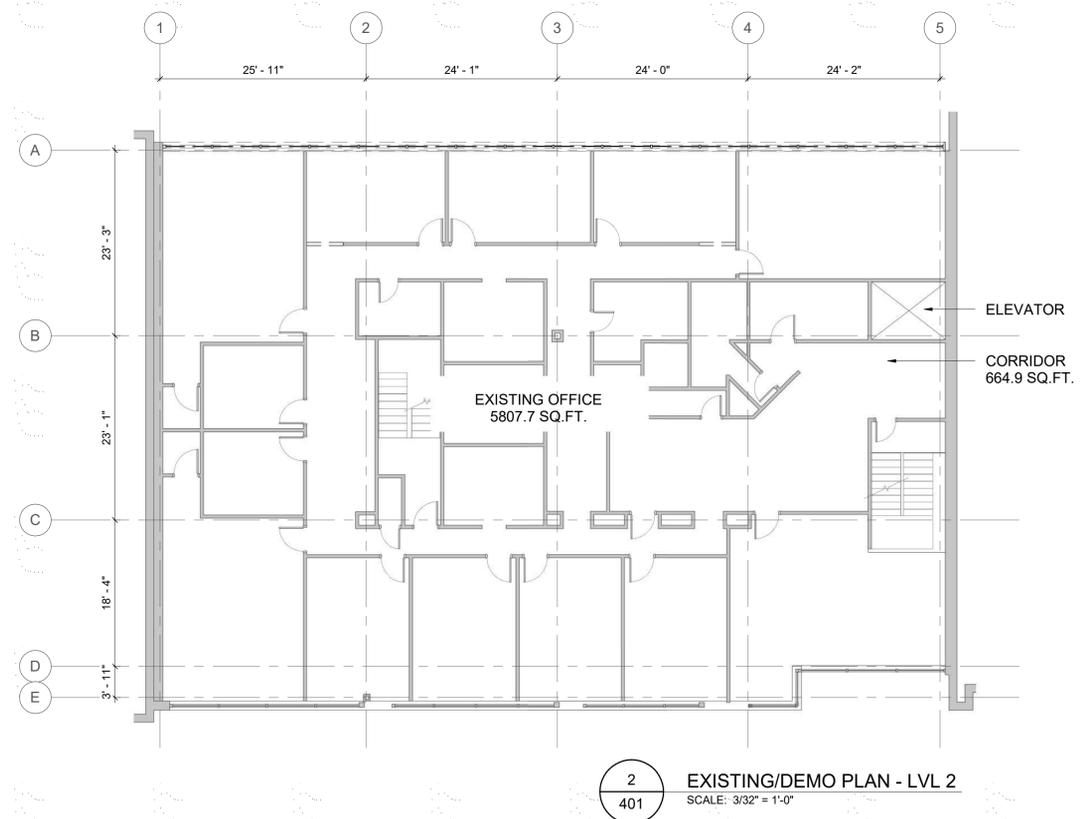
BUILDING AREA:		SITE INFORMATION:	
1st FLOOR:		CURRENT ZONING	B2 & D3 OVERLAY
EXISTING FLOOR AREA:	3,364.2 SQ.FT.	PARKING ASSESSMENT DISTRICT	
COMMON SPACE:	855.5 SQ.FT.		
STAIRS/ELEV.:	378.6 SQ.FT.		
TOTAL AREA:	4,598.3 SQ.FT.	SITE AREA:	11,200 SF
ADDITION FLOOR AREA:		MINIMUM OPEN SPACE:	N/A
TOTAL AREA:	4598.3 SQ.FT.	MAXIMUM LOT COVERAGE:	N/A
2nd FLOOR:		SETBACKS:	
EXISTING FLOOR AREA:	5,756.6 SQ.FT.	MIN. FRONT YARD SETBACK:	N/A
OFFICE SPACE:	5,756.6 SQ.FT.	MIN. REAR YARD SETBACK:	EQUAL TO EXISTING ADJACENT BUILDING
COMMON SPACE:	586.9 SQ.FT.		
STAIRS/ELEV.:	431.1 SQ.FT.	MIN. COMBINED FRONT/REAR SETBACK:	N/A
TOTAL AREA:	6,774.6 SQ.FT.	MIN. SIDE YARD SETBACK:	0 FEET
ADDITION FLOOR AREA:		4TH FLOOR RESIDENTIAL:	10 FEET FROM FACADE
TOTAL AREA:	2934.7 SQ.FT. (43.4%)		
3rd FLOOR:		MIN. FLOOR AREA PER UNIT:	N/A
EXISTING FLOOR AREA:	8,255.5 SQ.FT.	MAXIMUM TOTAL FLOOR AREA:	100%
OFFICE SPACE:	8,255.5 SQ.FT.	MAXIMUM BUILDING HEIGHT:	58 FEET, 4 STORIES
COMMON SPACE:	825.5 SQ.FT.		
STAIRS/ELEV.:	397.2 SQ.FT.		
TOTAL AREA:	9,378.2 SQ.FT.		
ADDITION FLOOR AREA:		PARKING:	
TOTAL AREA:	9799.3 SQ.FT.	SITE IS IN PARKING ASSESSMENT DISTRICT	
4th FLOOR:		4TH FLOOR RESIDENTIAL:	6 UNITS
EXISTING FLOOR AREA:	7,892 SQ.FT.	PARKING SPACES REQUIRED:	7
ADDITION FLOOR AREA:	7,892 SQ.FT.	PARKING SPACES PROVIDED:	7
TOTAL EXISTING BUILDING AREA:		BUILDING USE:	OFFICE USE LIMITED TO ONE STORY
18,231.1 SQ.FT.		GLAZED AREA OF A FACADE ABOVE THE FIRST FLOOR LIMITED TO 35%	
TOTAL ADDITION AREA:			
13,551.4 SQ.FT.			
TOTAL AREA:			
31,782.5 SQ.FT.			
BUILDING INCREASE:			
74.4%			



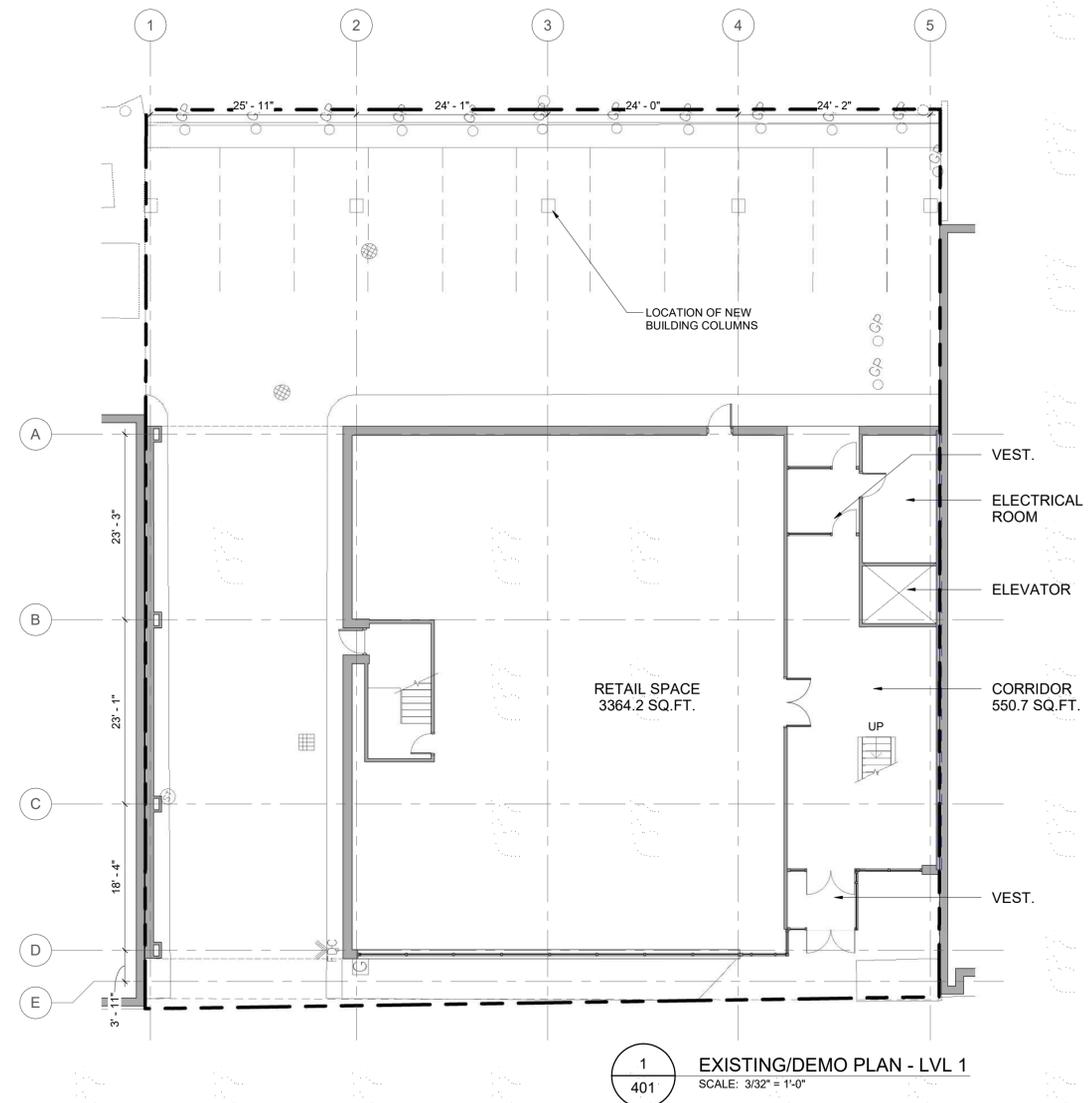
1
401 PROP. SITE PLAN
SCALE: 1/8" = 1'-0"



3
401
EXISTING/DEMO PLAN - LVL 3
SCALE: 3/32" = 1'-0"



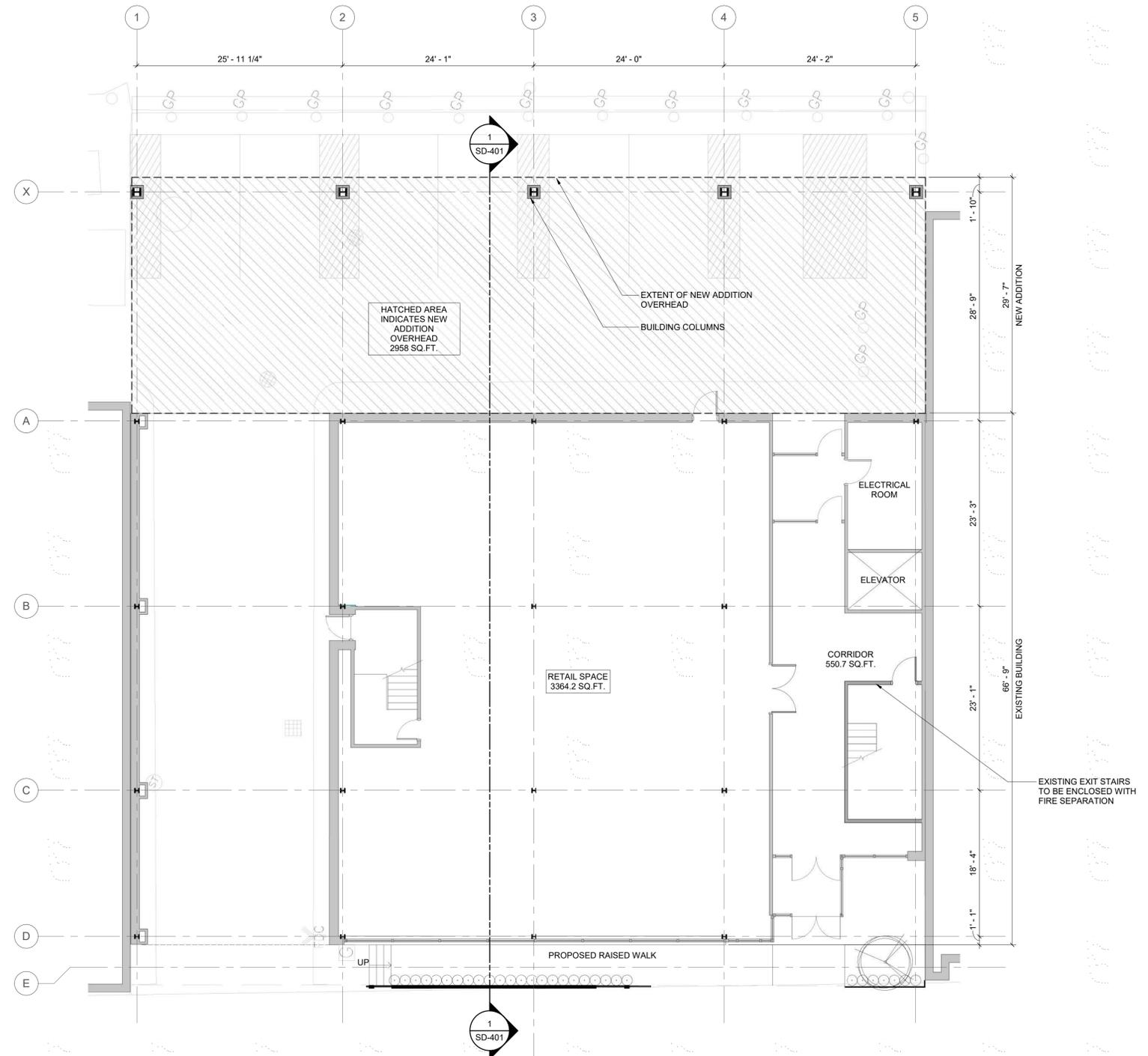
2
401
EXISTING/DEMO PLAN - LVL 2
SCALE: 3/32" = 1'-0"



1
401
EXISTING/DEMO PLAN - LVL 1
SCALE: 3/32" = 1'-0"

BUILDING & SITE DATA

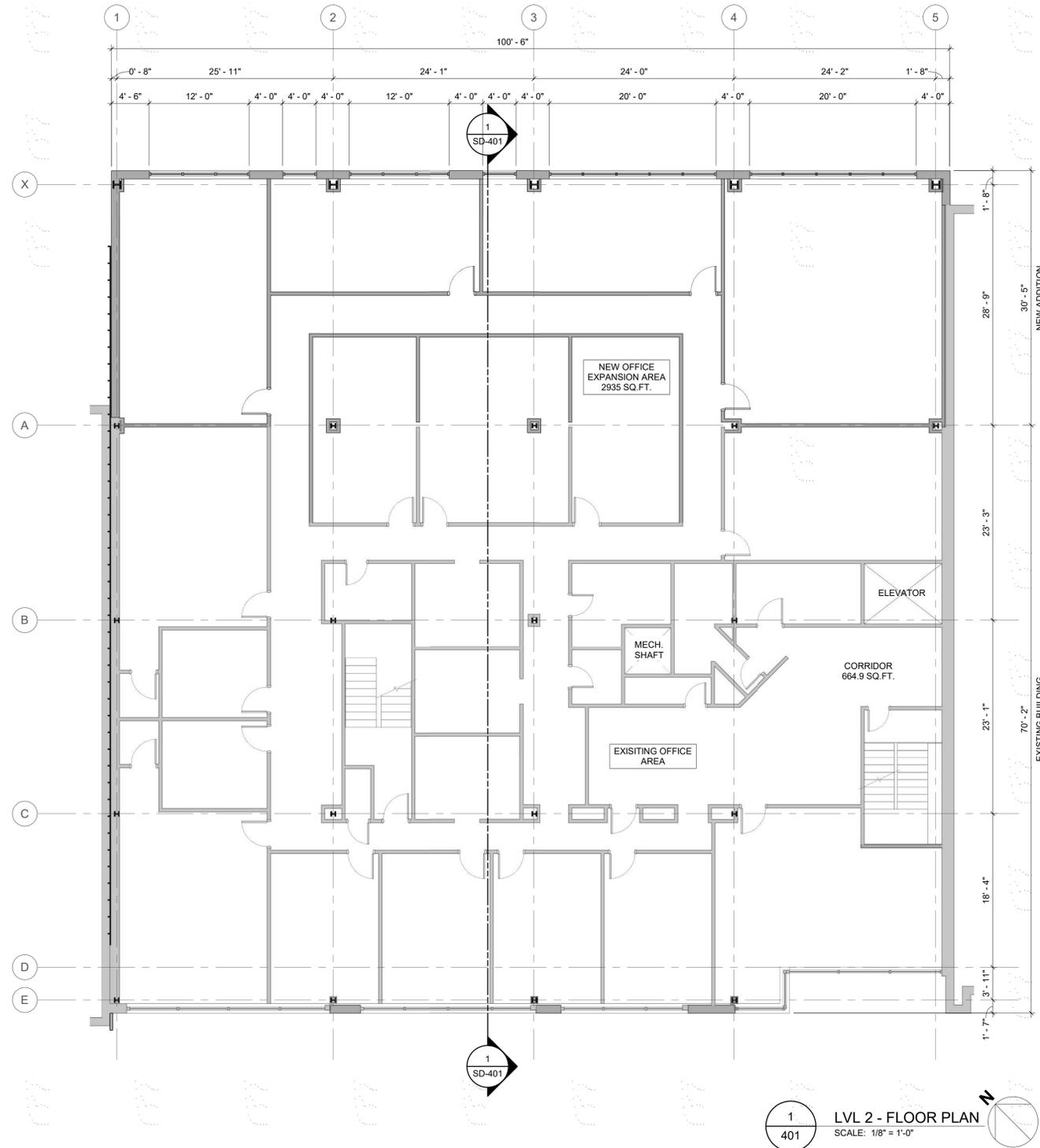
BUILDING AREA:		SITE INFORMATION:	
1st FLOOR:		CURRENT ZONING	B2 & D3 OVERLAY
EXISTING FLOOR AREA:	3,364.2 SQ.FT.	PARKING ASSESSMENT DISTRICT	
RETAIL SPACE:	855.5 SQ.FT.		
COMMON SPACE:	378.6 SQ.FT.		
STAIRS/ELEV.	4,596.3 SQ.FT.		
TOTAL AREA:	4,596.3 SQ.FT.	SITE AREA:	11,200 ft ²
ADDITION FLOOR AREA:		MINIMUM OPEN SPACE:	N/A
TOTAL AREA:	4,596.3 SQ.FT.	MAXIMUM LOT COVERAGE:	N/A
2nd FLOOR:		SETBACKS:	
EXISTING FLOOR AREA:	5,756.6 SQ.FT.	MIN. FRONT YARD SETBACK:	N/A
OFFICE SPACE:	586.9 SQ.FT.	MIN. REAR YARD SETBACK:	EQUAL TO EXISTING ADJACENT BUILDING
COMMON SPACE:	431.1 SQ.FT.	MIN. COMBINED FRONT/REAR SETBACK:	N/A
STAIRS/ELEV.	6,774.6 SQ.FT.	MIN. SIDE YARD SETBACK:	0 FEET
TOTAL AREA:	6,774.6 SQ.FT.	4TH FLOOR RESIDENTIAL:	10 FEET FROM FACADE
ADDITION FLOOR AREA:		MIN. FLOOR AREA PER UNIT:	N/A
TOTAL AREA:	2,934.7 SQ.FT. (43.4%)	MAXIMUM TOTAL FLOOR AREA:	100%
3rd FLOOR:		PARKING:	
EXISTING FLOOR AREA:	825.5 SQ.FT.	SITE IS IN PARKING ASSESSMENT DISTRICT	
OFFICE SPACE:	397.2 SQ.FT.		
COMMON SPACE:	686.2 SQ.FT.	4TH FLOOR RESIDENTIAL:	6 UNITS
STAIRS/ELEV.	7,994.9 SQ.FT.	PARKING SPACES REQUIRED:	7
TOTAL AREA:	7,994.9 SQ.FT.	PARKING SPACES PROVIDED:	7
ADDITION FLOOR AREA:		BUILDING USE:	
TOTAL AREA:	2,934.7 SQ.FT. (42.8%)	OFFICE USE LIMITED TO ONE STORY	
4th FLOOR:		GLAZED AREA OF A FACADE ABOVE THE FIRST FLOOR LIMITED TO 35%	
EXISTING FLOOR AREA:	18,231.1 SQ.FT.		
ADDITION FLOOR AREA:	13,561.4 SQ.FT.		
TOTAL AREA:	31,792.5 SQ.FT.		
TOTAL EXISTING BUILDING AREA:		BUILDING INCREASE:	
18,231.1 SQ.FT.		74.4%	
TOTAL ADDITION AREA:			
13,561.4 SQ.FT.			
TOTAL AREA:			
31,792.5 SQ.FT.			



1
401
LVL 1 - FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING & SITE DATA

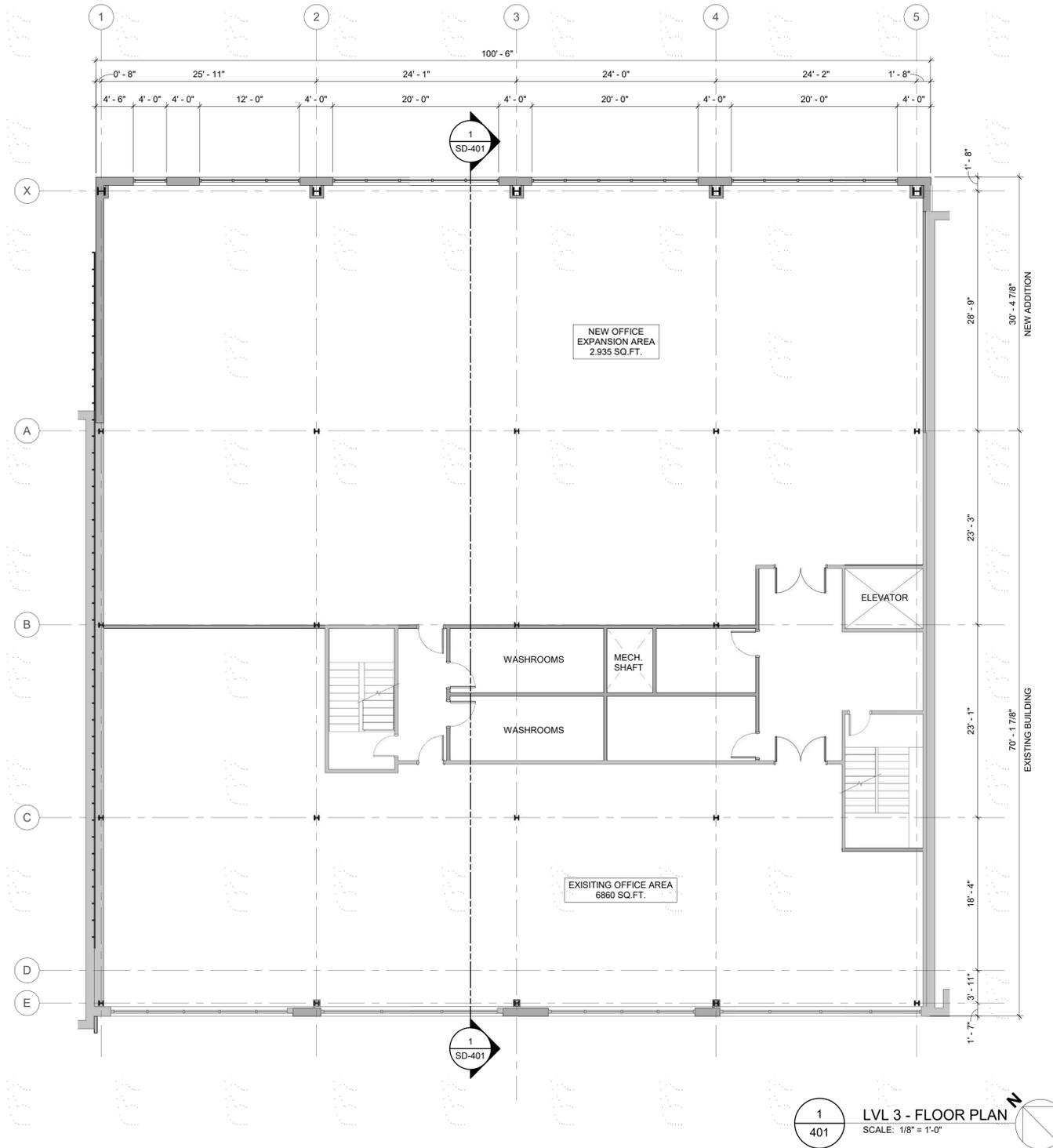
BUILDING AREA:		SITE INFORMATION:	
1st FLOOR:		CURRENT ZONING: B2 & D3 OVERLAY	
EXISTING FLOOR AREA: 3,364.2 SQ. FT.		PARKING ASSESSMENT DISTRICT:	
RETAIL SPACE: 3,364.2 SQ. FT.		DISTRICT:	
COMMON SPACE: 855.5 SQ. FT.		SITE AREA: 11,200 SF	
STAIRS/ELEV.: 378.6 SQ. FT.		MINIMUM OPEN SPACE: N/A	
TOTAL AREA: 4,596.3 SQ. FT.		MAXIMUM LOT COVERAGE: N/A	
ADDITION FLOOR AREA: --			
TOTAL AREA: 4,596.3 SQ. FT.			
2nd FLOOR:		SETBACKS:	
EXISTING FLOOR AREA: 5,756.6 SQ. FT.		MIN. FRONT YARD SETBACK: N/A	
OFFICE SPACE: 5,756.6 SQ. FT.		MIN. REAR YARD SETBACK: EQUAL TO EXISTING ADJACENT BUILDING	
COMMON SPACE: 586.9 SQ. FT.		MIN. COMBINED FRONT/REAR SETBACK: N/A	
STAIRS/ELEV.: 431.1 SQ. FT.		MIN. SIDE YARD SETBACK: 0 FEET	
TOTAL AREA: 6,774.6 SQ. FT.		4TH FLOOR RESIDENTIAL: 10 FEET FROM FACADE	
ADDITION FLOOR AREA: --		MIN. FLOOR AREA PER UNIT: N/A	
TOTAL AREA: 6,774.6 SQ. FT. (43.4%)		MAXIMUM TOTAL FLOOR AREA: 100%	
TOTAL AREA: 9,709.3 SQ. FT.		MAXIMUM BUILDING HEIGHT: 58 FEET, 4 STORIES	
3rd FLOOR:		PARKING:	
EXISTING FLOOR AREA: 5,637.5 SQ. FT.		SITE IS IN PARKING ASSESSMENT DISTRICT	
OFFICE SPACE: 5,637.5 SQ. FT.		4TH FLOOR RESIDENTIAL: 6 UNITS	
COMMON SPACE: 825.5 SQ. FT.		PARKING SPACES REQUIRED: 7	
STAIRS/ELEV.: 397.2 SQ. FT.		PARKING SPACES PROVIDED: 7	
TOTAL AREA: 6,860.2 SQ. FT.		BUILDING USE: OFFICE USE LIMITED TO ONE STORY	
ADDITION FLOOR AREA: 2,934.7 SQ. FT. (42.8%)		GLAZED AREA OF A FACADE ABOVE THE FIRST FLOOR LIMITED TO 35%	
TOTAL AREA: 9,794.9 SQ. FT.			
4th FLOOR:			
EXISTING FLOOR AREA: --			
ADDITION FLOOR AREA: 7,692 SQ. FT.			
TOTAL EXISTING BUILDING AREA: 18,231.1 SQ. FT.			
TOTAL ADDITION AREA: 13,561.4 SQ. FT.			
TOTAL AREA: 31,792.5 SQ. FT.			
SITE DATA CHART			
BUILDING FOOTPRINT: 100'-0" x 70'-2"			
SCALE: 1/2" = 1'-0"			



1
401
LVL 2 - FLOOR PLAN
SCALE: 1/8" = 1'-0"

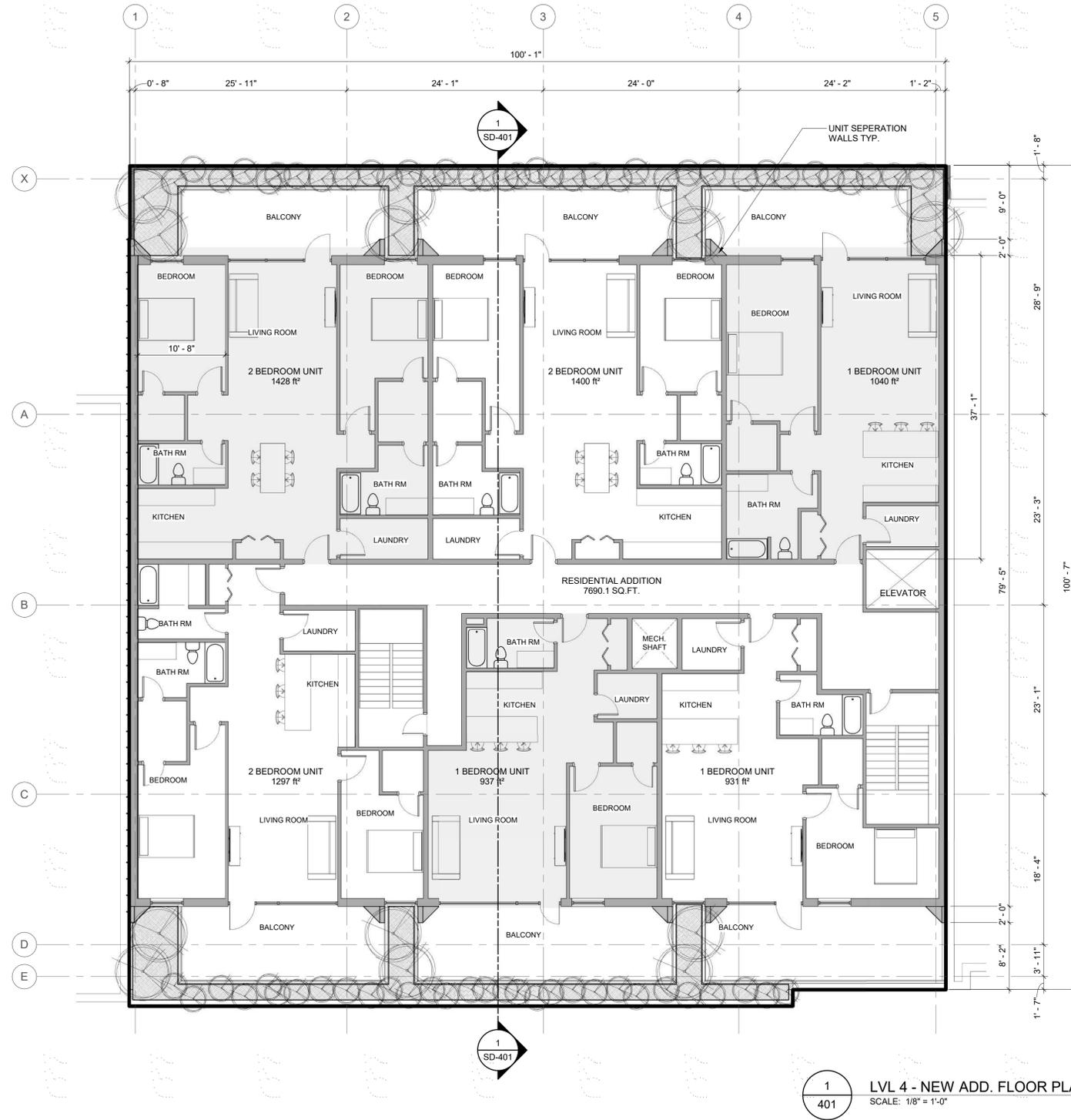
BUILDING & SITE DATA

BUILDING AREA:		SITE INFORMATION:	
1st FLOOR:		CURRENT ZONING:	B2 & D3 OVERLAY
EXISTING FLOOR AREA:	3,364.2 SQ. FT.	PARKING ASSESSMENT DISTRICT:	
RETAIL SPACE:	855.5 SQ. FT.		
COMMON SPACE:	378.6 SQ. FT.		
STAIRS/ELEV.:	4,596.3 SQ. FT.		
TOTAL AREA:	4,596.3 SQ. FT.		
ADDITION FLOOR AREA:		SITE AREA:	11,200 sq'
TOTAL AREA:	4,596.3 SQ. FT.	MINIMUM OPEN SPACE:	N/A
2nd FLOOR:		MAXIMUM LOT COVERAGE:	N/A
EXISTING FLOOR AREA:	5,756.6 SQ. FT.	SETBACKS:	
OFFICE SPACE:	586.9 SQ. FT.	MIN. FRONT YARD SETBACK:	N/A
COMMON SPACE:	431.1 SQ. FT.	MIN. REAR YARD SETBACK:	EQUAL TO EXISTING ADJACENT BUILDING
STAIRS/ELEV.:	6,774.6 SQ. FT.	MIN. COMBINED FRONT/REAR SETBACK:	N/A
TOTAL AREA:	6,774.6 SQ. FT.	MIN. SIDE YARD SETBACK:	0 FEET
ADDITION FLOOR AREA:		4TH FLOOR RESIDENTIAL:	10 FEET FROM FACADE
TOTAL AREA:	2,934.7 SQ. FT. (43.4%)	MIN. FLOOR AREA PER UNIT:	N/A
3rd FLOOR:		MAXIMUM TOTAL FLOOR AREA:	100%
EXISTING FLOOR AREA:	825.5 SQ. FT.	MAXIMUM BUILDING HEIGHT:	58 FEET, 4 STORIES
OFFICE SPACE:	397.2 SQ. FT.	PARKING:	
COMMON SPACE:	686.2 SQ. FT.	SITE IS IN PARKING ASSESSMENT DISTRICT:	
STAIRS/ELEV.:	2,934.7 SQ. FT. (42.8%)	4TH FLOOR RESIDENTIAL:	6 UNITS
TOTAL AREA:	9794.9 SQ. FT.	PARKING SPACES REQUIRED:	7
ADDITION FLOOR AREA:		PARKING SPACES PROVIDED:	7
TOTAL AREA:	7,692 SQ. FT.	BUILDING USE:	
4th FLOOR:		OFFICE USE LIMITED TO ONE STORY:	
EXISTING FLOOR AREA:	18,231.1 SQ. FT.	GLAZED AREA OF A FACADE ABOVE THE FIRST FLOOR LIMITED TO 35%:	
ADDITION FLOOR AREA:	13,561.4 SQ. FT.		
TOTAL AREA:	31,792.5 SQ. FT.		
TOTAL EXISTING BUILDING AREA:			
TOTAL ADDITION AREA:			
TOTAL AREA:			
BUILDING INCREASE:			



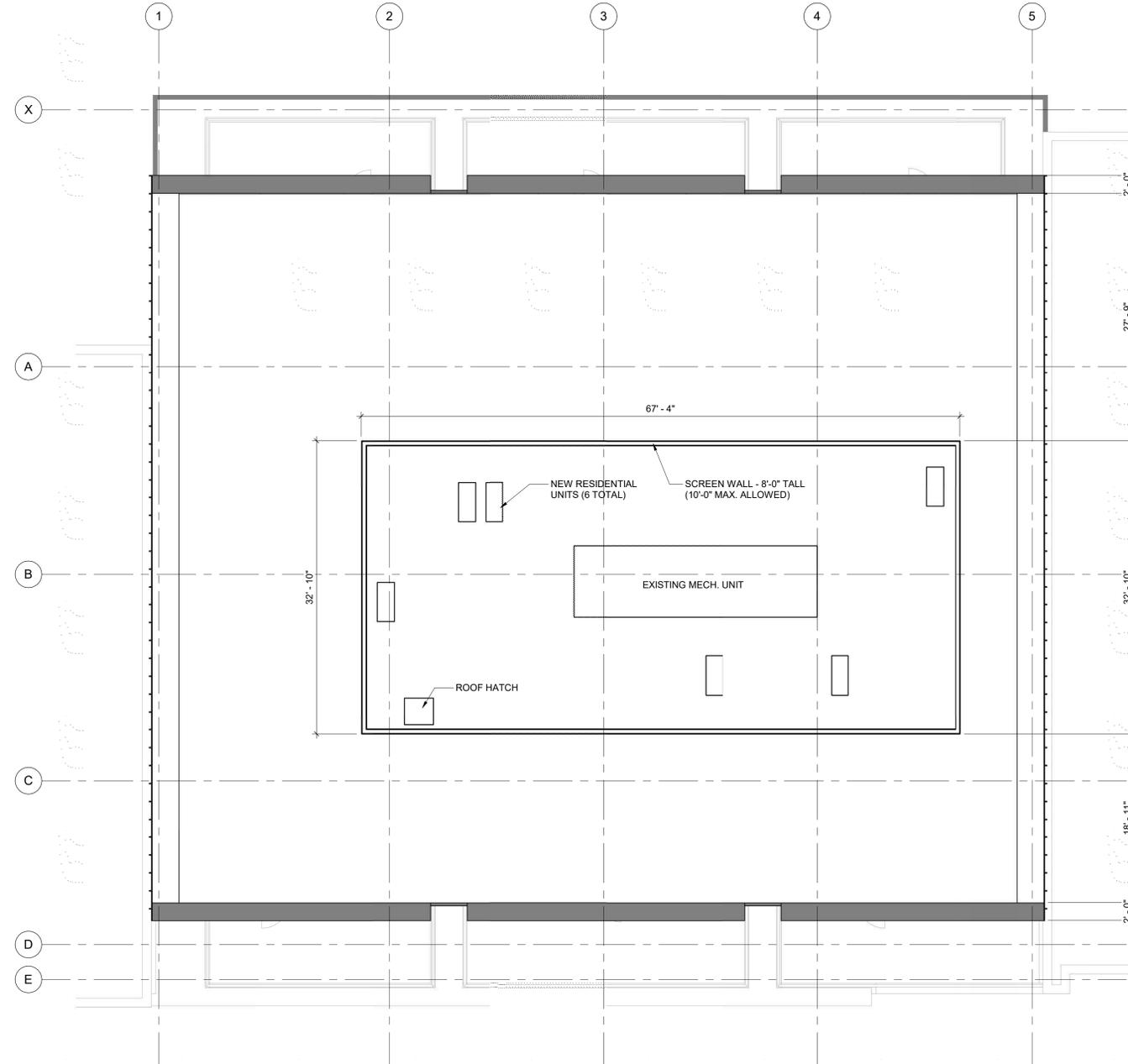
BUILDING & SITE DATA

BUILDING AREA:		SITE INFORMATION:	
1st FLOOR:		CURRENT ZONING: B2 & D3 OVERLAY	
EXISTING FLOOR AREA:		PARKING ASSESSMENT DISTRICT	
RETAIL SPACE:	3,364.2 SQ.FT.	DISTRICT	
COMMON SPACE:	855.5 SQ.FT.	SITE AREA: 11,200 ft ²	
STAIRS/ELEV:	378.6 SQ.FT.	MINIMUM OPEN SPACE: N/A	
TOTAL AREA:	4,598.3 SQ.FT.	MAXIMUM LOT COVERAGE: N/A	
ADDITION FLOOR AREA:		SETBACKS:	
TOTAL AREA:	4598.3 SQ.FT.	MIN. FRONT YARD SETBACK: N/A	
2nd FLOOR:		MIN. REAR YARD SETBACK: EQUAL TO EXISTING ADJACENT BUILDING	
EXISTING FLOOR AREA:		MIN. COMBINED FRONT/REAR SETBACK: N/A	
OFFICE SPACE:	5,756.6 SQ.FT.	MIN. SIDE YARD SETBACK: 0 FEET	
COMMON SPACE:	586.9 SQ.FT.	4TH FLOOR RESIDENTIAL: 10 FEET FROM FACADE	
STAIRS/ELEV:	431.1 SQ.FT.	MIN. FLOOR AREA PER UNIT: N/A	
TOTAL AREA:	6774.6 SQ.FT.	MAXIMUM TOTAL FLOOR AREA: 100%	
ADDITION FLOOR AREA:		PARKING:	
TOTAL AREA:	2934.7 SQ.FT. (43.4%)	SITE IS IN PARKING ASSESSMENT DISTRICT	
3rd FLOOR:		4TH FLOOR RESIDENTIAL: 6 UNITS	
EXISTING FLOOR AREA:		PARKING SPACES REQUIRED: 7	
OFFICE SPACE:	5,637.5 SQ.FT.	PARKING SPACES PROVIDED: 7	
COMMON SPACE:	825.5 SQ.FT.	BUILDING USE:	
STAIRS/ELEV:	397.2 SQ.FT.	OFFICE USE LIMITED TO ONE STORY	
TOTAL AREA:	6860.2 SQ.FT.	GLAZED AREA OF A FACADE ABOVE THE FIRST FLOOR LIMITED TO 35%	
ADDITION FLOOR AREA:		4th FLOOR:	
TOTAL AREA:	2,934.7 SQ.FT. (42.8%)	EXISTING FLOOR AREA:	
4th FLOOR:		ADDITION FLOOR AREA:	
EXISTING FLOOR AREA:		7,692 SQ.FT.	
ADDITION FLOOR AREA:		TOTAL EXISTING BUILDING AREA: 18,231.1 SQ.FT.	
TOTAL AREA:		TOTAL ADDITION AREA: 13,561.4 SQ.FT.	
TOTAL AREA:		TOTAL AREA: 31,792.5 SQ.FT.	
BUILDING INCREASE: 74.4%			



BUILDING & SITE DATA

BUILDING AREA:		SITE INFORMATION:	
1st FLOOR:		CURRENT ZONING	B2 & D3 OVERLAY
EXISTING FLOOR AREA:	3,364.2 SQ.FT.	PARKING ASSESSMENT DISTRICT	
RETAIL SPACE:	855.5 SQ.FT.		
COMMON SPACE:	378.6 SQ.FT.		
STAIRS/ELEV.:	4,596.3 SQ.FT.		
TOTAL AREA:	4,596.3 SQ.FT.	SITE AREA:	11,200 ft ²
ADDITION FLOOR AREA:		MINIMUM OPEN SPACE:	N/A
TOTAL AREA:	4,596.3 SQ.FT.	MAXIMUM LOT COVERAGE:	N/A
2nd FLOOR:		SETBACKS:	
EXISTING FLOOR AREA:	5,756.6 SQ.FT.	MIN. FRONT YARD SETBACK:	N/A
OFFICE SPACE:	586.9 SQ.FT.	MIN. REAR YARD SETBACK:	EQUAL TO EXISTING ADJACENT BUILDING
COMMON SPACE:	431.1 SQ.FT.	MIN. COMBINED FRONT/REAR SETBACK:	N/A
STAIRS/ELEV.:	6,774.6 SQ.FT.	MIN. SIDE YARD SETBACK:	0 FEET
TOTAL AREA:	6,774.6 SQ.FT.	4TH FLOOR RESIDENTIAL:	10 FEET FROM FACADE
ADDITION FLOOR AREA:		MIN. FLOOR AREA PER UNIT:	N/A
TOTAL AREA:	2,934.7 SQ.FT. (43.4%)	MAXIMUM TOTAL FLOOR AREA:	100%
3rd FLOOR:		MAXIMUM BUILDING HEIGHT: 58 FEET, 4 STORIES	
EXISTING FLOOR AREA:	5,837.5 SQ.FT.	PARKING:	
OFFICE SPACE:	825.5 SQ.FT.	SITE IS IN PARKING ASSESSMENT DISTRICT	
COMMON SPACE:	397.2 SQ.FT.	4TH FLOOR RESIDENTIAL: 6 UNITS	
STAIRS/ELEV.:	6,860.2 SQ.FT.	PARKING SPACES REQUIRED: 7	
TOTAL AREA:	6,860.2 SQ.FT.	PARKING SPACES PROVIDED: 7	
ADDITION FLOOR AREA:		BUILDING USE:	
TOTAL AREA:	2,934.7 SQ.FT. (42.8%)	OFFICE USE LIMITED TO ONE STORY	
4th FLOOR:		GLAZED AREA OF A FACADE ABOVE THE FIRST FLOOR LIMITED TO 35%	
EXISTING FLOOR AREA:	7,892 SQ.FT.		
TOTAL EXISTING BUILDING AREA: 18,231.1 SQ.FT.			
TOTAL ADDITION AREA: 13,561.4 SQ.FT.			
TOTAL AREA: 31,792.5 SQ.FT.			
BUILDING INCREASE: 74.4%			



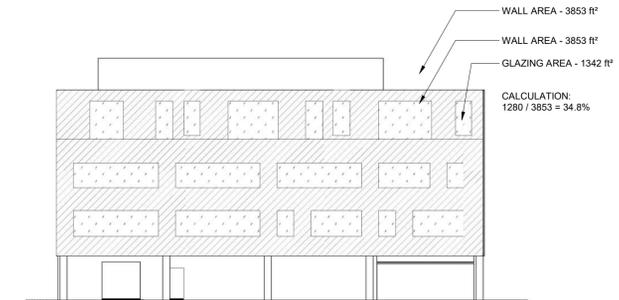
1
401 SD ROOF PLAN
SCALE: 1/8" = 1'-0" 

EXTERIOR MATERIAL FINISHES

TAG	MATERIAL	MANUFACTURER	COLOR / STYLE	REMARKS
E1	EXISTING BRICK	-	PAINTED BLACK	
E2	ALUM. FRAME WINDOWS	KAWNEER OR APOVED EQUAL	EXTRA DARK BRONZE	
E3	PRE-FINISHED METAL	PAC-CLAD BREAK SHAPE METAL OR APPROVED EQUAL	MIDNIGHT BRONZE	
E4	WOOD GRAIN ALUM. PLANKS	LONGBOARD WOOD GRAIN ALUM. PLANKS OR APPROVED EQUAL	LIGHT CHERRY	
E5	STANDING SEAM METAL SIDING	PAC-CLAD SNAP CLAD PANELS OR APPROVED EQUAL	MIDNIGHT BRONZE	
E6	ROOFTOP SCREENING	CONSTRUCTION SPECIALTIES OR APPROVED EQUAL	ECONOSCREEN RV-20	



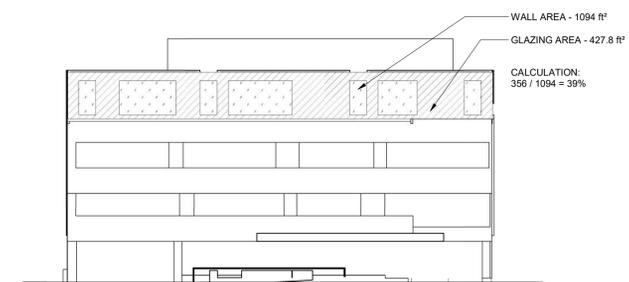
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - GLAZING DIAGRAM



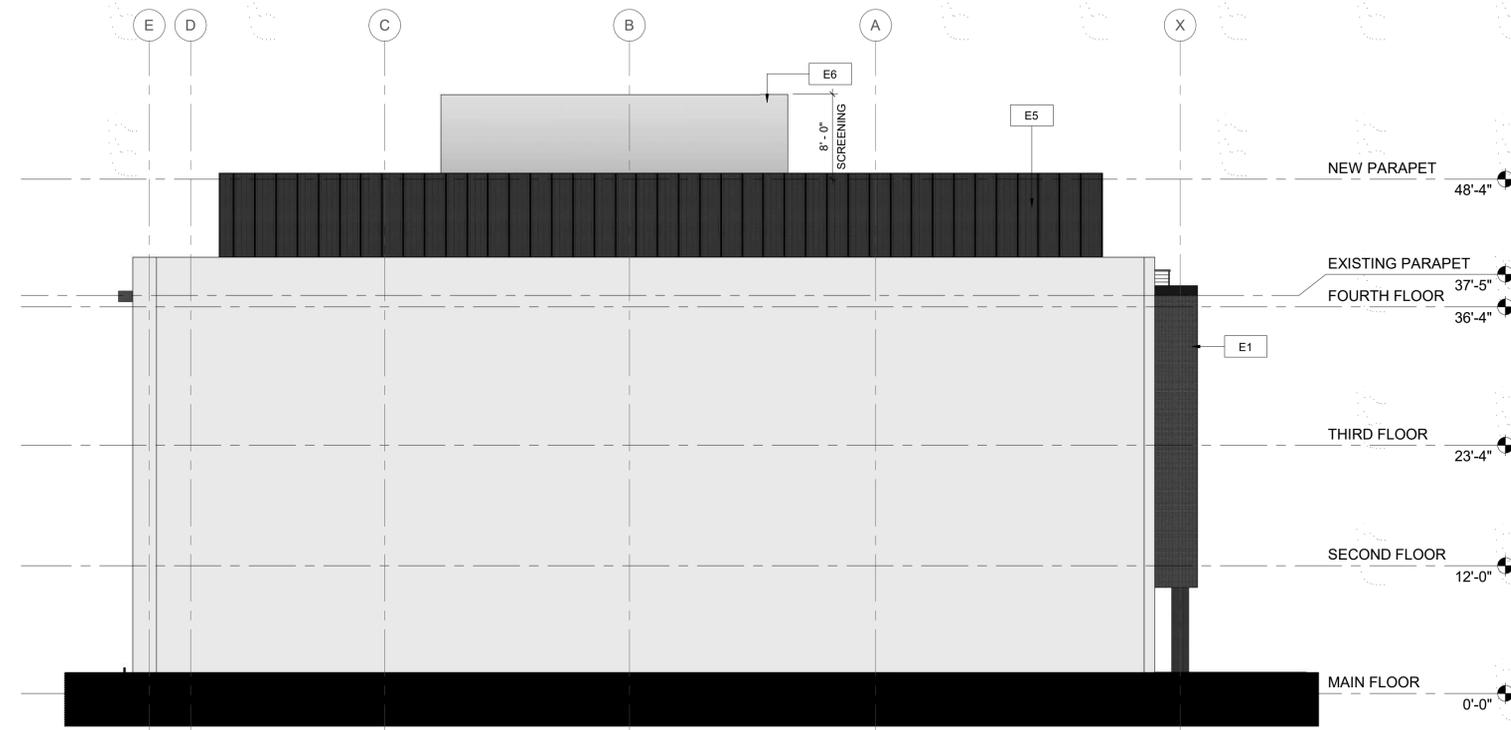
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



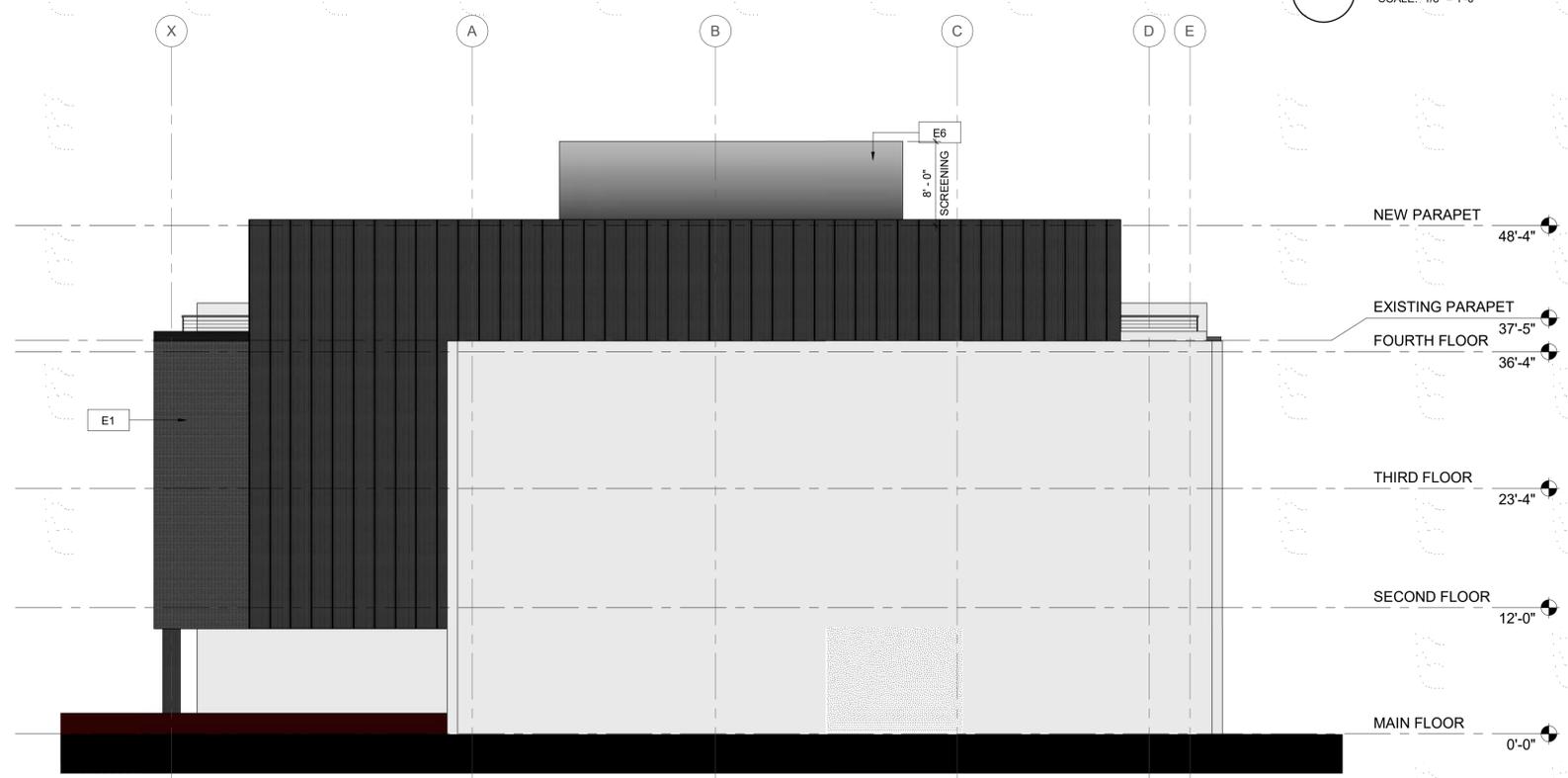
SOUTH ELEVATION - GLAZING DIAGRAM

EXTERIOR MATERIAL FINISHES

TAG	MATERIAL	MANUFACTURER	COLOR / STYLE	REMARKS
E1	EXISTING BRICK	-	PAINTED BLACK	
E2	ALUM. FRAME WINDOWS	KAWNEER OR APPROVED EQUAL	EXTRA DARK BRONZE	
E3	PRE-FINISHED METAL	PAC-CLAD BREAK SHAPE METAL OR APPROVED EQUAL	MIDNIGHT BRONZE	
E4	WOOD GRAIN ALUM. PLANKS	LONGBOARD WOOD GRAIN ALUM. PLANKS OR APPROVED EQUAL	LIGHT CHERRY	
E5	STANDING SEAM METAL SIDING	PAC-CLAD SNAP CLAD PANELS OR APPROVED EQUAL	MIDNIGHT BRONZE	
E6	ROOFTOP SCREENING	CONSTRUCTION SPECIALTIES OR APPROVED EQUAL	ECONOSCREEN RV-20	



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



RENDERING LOOKING EAST



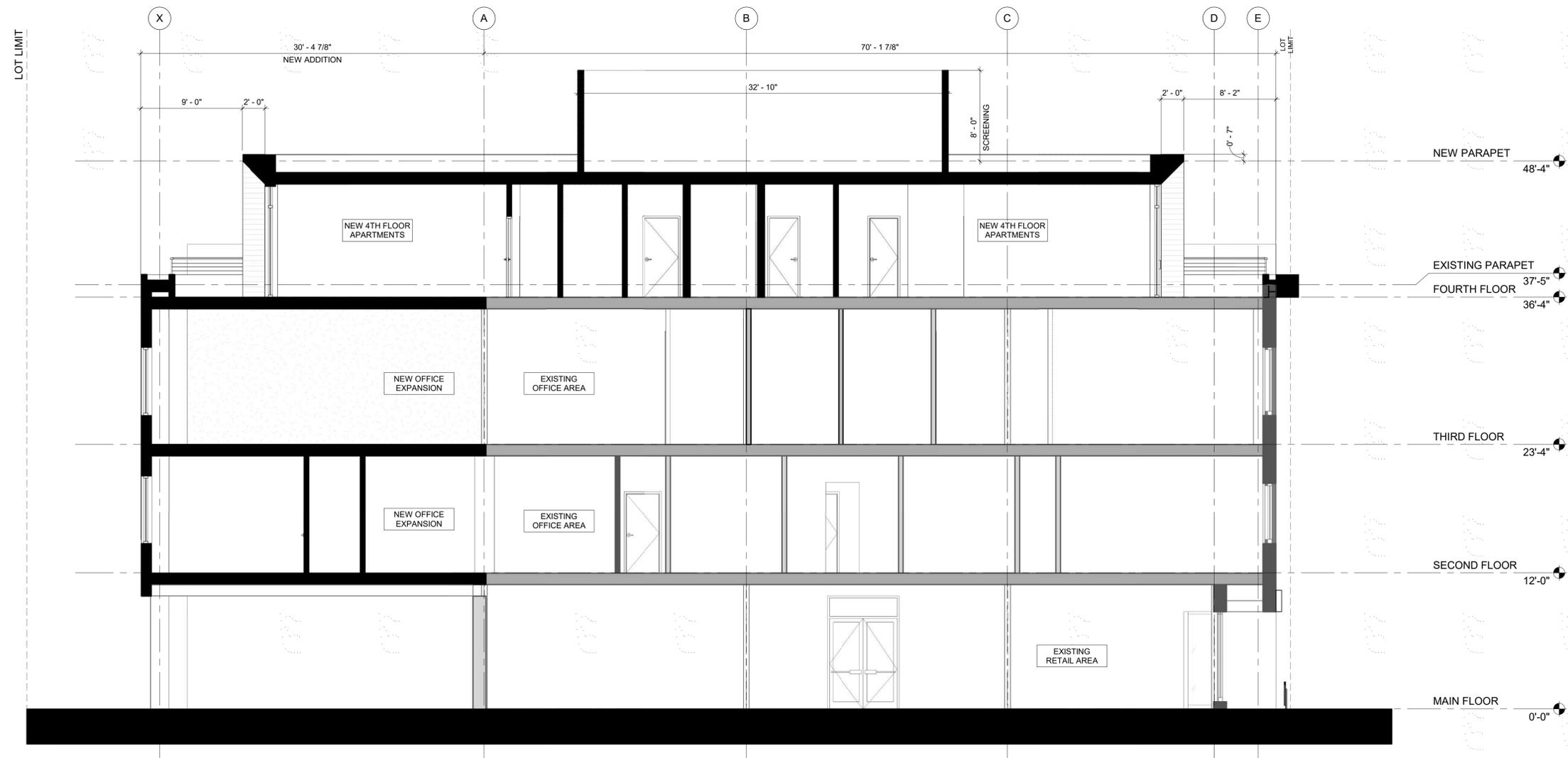
RENDERING LOOKING SOUTH



RENDERING LOOKING SOUTH-EAST



RENDERING LOOKING NORTH-EAST



1
SD-102 BUILDING SECTION
SCALE: 3/16" = 1'-0"



Preliminary Site Plan Review Application

Planning Division

Form will not be processed until it is completely filled out.

1. Applicant

Name: Brian Naor, Naor Companies
Address: 600 N Old Woodward Suite 100
Birmingham, Mi 48009
Phone Number: 248 433 7000
Fax Number: _____
Email address: brian@naorcompanies.com

2. Property Owner

Name: Brian Naor, Naor Companies
Address: 600 N Old Woodward Suite 100
Birmingham, Mi 48009
Phone Number: 248 433 7000
Fax Number: _____
Email address: brian@naorcompanies.com

3. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email address: _____

4. Project Designer/Developer

Name: Mike Rutherford - Norr
Address: 150 W Jefferson Ave, Suite 1300
Detroit, Mi 48226
Phone Number: 313 324 3122
Fax Number: _____
Email address: mike@rutherford-norr.com

5. Required Attachments

- I. Two (2) paper copies and one (1) digital copy of all project plans including:
 - i. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject sites property lines;
 - ii. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
 - iii. A certified Land Survey;
 - iv. Interior floor plans;

- v. A Landscape Plan;
- vi. A Photometric Plan;
- vii. Colored elevation drawings for each building elevation;
- II. Specification sheets for all proposed materials, light fixtures and mechanical equipment;
- III. Samples of all proposed materials;
- IV. Photographs of existing conditions on the site including all structures, parking areas, landscaping and adjacent structures;
- V. Current aerial photographs of the site and surrounding properties;
- VI. Warranty Deed, or Consent of Property Owner if applicant is not the owner;
- VII. Any other data requested by the Planning Board, Planning Department, or other City Departments.

6. Project Information

Address/Location of the property: 344 N Old Woodward
Birmingham, Mi
Name of development: N/A
Sidwell #: 1925379021
Current Use: Mercantile Travel agent & General Office
Proposed Use: 4th Floor Residential lofts
Area of Site in Acres: 0.26 acres 11,201 ft²
Current zoning: B2 Overlay D3
Is the property located in the floodplain? N/A

Name of Historic District site is located in: N/A
Date of Historic District Commission Approval: N/A
Date of Design Review Board Approval: N/A
Will proposed project require the division of platted lots? _____
N/A
Will proposed project require the combination of platted lots? _____
N/A

7. Details of the Proposed Development (attach separate sheet if necessary)

Project is for the addition of 4th floor apartments on existing 3 storey building and includes expansion of 2nd and 3rd floor levels and interior renovations of existing building to accommodate access and egress from 4th floor apartments

8. Buildings and Structures

Number of Buildings on Site: 1

Height of Buildings & # of Stories: 48'-4" - 4 Stories

Use of Buildings: Mixed Use - Mercantile, commercial & residential

Height of Rooftop Mechanical Equipment: 5'-0" +/- with 10'-0" max screening

9. Floor Use and Area (in Square Feet)

Proposed Commercial Structures:

Total basement floor area:

Number of square feet per upper floor:

Total floor area:

Floor area ratio (total floor area ÷ total land area):

Open space:

Percent of open space:

Office Space:

Retail Space:

Industrial Space:

Assembly Space:

Seating Capacity:

Maximum Occupancy Load:

Proposed Residential Structures:

Total number of units:

Number of one bedroom units:

Number of two bedroom units:

Number of three bedroom units:

Open space:

Percent of open space:

Rental units or condominiums?

Size of one bedroom units:

Size of two bedroom units:

Size of three bedroom units:

Seating Capacity:

Maximum Occupancy Load:

Proposed Additions:

Total basement floor area, if any, of addition: N/A

Number of floors to be added: 1 Floor

Square footage added per floor: 2,935 ft² 2nd & 3rd 7,692 ft² 4th

Total building floor area (including addition): 31,792.5 ft²

Floor area ratio (total floor area ÷ total land area): 2.84

Open Space: None

Percent of open space: None

Use of addition: Office space / Residential Apartments

Height of addition: 12'-0"

Office space in addition: 5,870 ft²

Retail space in addition: N/A

Industrial space in addition: N/A

Assembly space in addition: N/A

Maximum building occupancy load (including addition): 242

10. Required and Proposed Setbacks

Required front setback: B2 - 0 Feet, D3 - 4th flr 10'-0"

Required rear setback: D3 - 10 feet

Required total side setback: D3 - 0 feet

Side setback: D3 - 0 feet

Proposed front setback: 10'-0"

Proposed rear setback: 10'-3"

Proposed total side setback: 0 feet

Second side setback: 0 feet

11. Required and Proposed Parking

Required number of parking spaces: 7 parking stalls

Typical angle of parking spaces: 90

Typical width of maneuvering lanes: N/A

Location of parking on site: Back of Building

Location of parking off site: N/A

Number of light standards in parking area: Existing to remain

Screenwall material: N/A

Proposed number of parking spaces: 7 - on-site

Typical size of parking spaces: 10'-0" x 18'-0"

Number of spaces <180 sq. ft.: 0

Number of handicap spaces: 1

Shared parking agreement? N/A

Height of light standards in parking area: TBD

Height of screenwall: N/A

12. Landscaping

Location of landscape areas: N/A

Proposed landscape material: N/A

13. Streetscape

Sidewalk width: Existing
Number of benches: N/A
Number of planters: N/A
Number of existing street trees: N/A
Number of proposed street trees: N/A
Streetscape plan submitted? N/A

Description of benches or planters: N/A

Species of existing trees: N/A

Species of proposed trees: N/A

14. Loading

Required number of loading spaces: 2 (1 for office +1 for retail)
Typical angle of loading spaces: 90
Screenwall material: N/A
Location of loading spaces on site: rear yard

Proposed number of loading spaces: Existing
Typical size of loading spaces: Existing
Height of screenwall: N/A
Typical time loading spaces are used: Existing

15. Exterior Waste Receptacles

Required number of waste receptacles: Existing
Location of waste receptacles: Existing area rear of building
Screenwall material: N/A

Proposed number of waste receptacles: No Additional
Size of waste receptacles: N/A
Height of screenwall: N/A

16. Mechanical Equipment

Utilities and Transformers:

Number of ground mounted transformers: 1 existing rear of building
Size of transformers (L•W•H): 48" x 18" x 48" +/-
Number of utility easements: none
Screenwall material: none

Location of all utilities & easements: none

Height of screenwall: none

Ground Mounted Mechanical Equipment:

Number of ground mounted units: none
Size of ground mounted units (L•W•H): _____
Screenwall material: _____

Location of all ground mounted units: _____
Height of screenwall: _____

Rooftop Mechanical Equipment:

Number of rooftop units: TBD
Type of rooftop units: _____

Screenwall material: _____
Location of screenwall: _____

Location of all rooftop units: TBD
Size of rooftop units (L•W•H): _____
Percentage of rooftop covered by mechanical units: _____
Height of screenwall: _____
Distance from rooftop units to all screenwalls: _____

17. Accessory Buildings

Number of accessory buildings: N/A
Location of accessory buildings: N/A

Size of accessory buildings: N/A
Height of accessory buildings: N/A

18. Building Lighting

Number of light standards on building: TBD
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light standards on building: TBD

Height from grade: _____
Proposed wattage per fixture: _____

19. Site Lighting

Number of light fixtures: Existing to remain
Size of light fixtures (L•W•H): _____
Maximum wattage per fixture: _____
Light level at each property line: _____

Type of light fixtures: Existing to remain
Height from grade: _____
Proposed wattage per fixture: _____
Holiday tree lighting receptacles: _____

20. Adjacent Properties

Number of properties within 200 ft.: 15

Property #1

Number of buildings on site: 1
Zoning district: R6 - overlay D4
Use type: Residential
Square footage of principal building: unknown
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 6 Storey residential building

North, south, east or west of property? West

Property #2

Number of buildings on site: 1
Zoning district: PP - overlay P
Use type: Parking Structure
Square footage of principal building: 156,000 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: N/A

Property Description: 4 Storey Parking structure

North, south, east or west of property? west

Property #3

Number of buildings on site: 1
Zoning district: B4 - overlay D3
Use type: Office & Retail store
Square footage of principal building: 113,500 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 3 Storey office/retail building

North, south, east or west of property? west

Property #4

Number of buildings on site: 1
Zoning district: B2 - overlay D3
Use type: Office
Square footage of principal building: 39,000 ft² +/-
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 3 Storey office building

North, south, east or west of property? South

Property #5

Number of buildings on site: 1
Zoning district: B2 - overlay D3
Use type: Office
Square footage of principal building: 39,000 ft²
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 3 Storey commercial building

North, south, east or west of property? South

Property #6

Number of buildings on site: 1
Zoning district: B2 - overlay D3
Use type: Office
Square footage of principal building: 22,500 ft²
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 3 Storey commercial building

North, south, east or west of property? North

Continued on next page

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes made to an approved site plan. The undersigned further states that they have reviewed the procedures and guidelines for Site Plan Review in Birmingham, and have complied with same. The undersigned will be in attendance at the Planning Board meeting when this application will be discussed.

Signature of Owner: _____ **Date:** _____

Print Name: _____

Signature of Applicant: _____ **Date:** _____

Print Name: _____

Signature of Architect: _____ **Date:** _____

Print Name: _____

<i>Office Use Only</i>		
Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Accepted by: _____

Property #7

Number of buildings on site: 1
Zoning district: B2 - Overlay D3
Use type: Office
Square footage of principal building: 56,000 ft²
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 4 Storey commercial building

North, south, east or west of property? North

Property #8

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 3,200 ft²
Square footage of accessory buildings: 425 ft²
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? East

Property #9

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 2,100 ft²
Square footage of accessory buildings: 650 ft²
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? East

Property #10

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 3,740 ft²
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? North

Property #11

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 3,800 ft²
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? North

Property #12

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 3,400 ft²
Square footage of accessory buildings: 740 ft²
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? North

Property #13

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 2,200 ft²
Square footage of accessory buildings: 600 ft²
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? North

Property #14

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 4,640 ft²
Square footage of accessory buildings: N/A
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? North

Property #15

Number of buildings on site: 1
Zoning district: R2
Use type: Residential
Square footage of principal building: 2,600 ft²
Square footage of accessory buildings: 450 ft²
Number of parking spaces: unknown

Property Description: 2 Storey Residential building

North, south, east or west of property? North



PRELIMINARY SIT PLAN REVIEW APPLICATION CHECKLIST - PLANNING DIVISION

Applicant: _____ Case #: _____ Date: _____

Address: _____ Project: _____

All site plans and elevation drawings prepared for approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording. Plans must be no larger than 24" x 36", and must be folded and stapled together. The address of the site must be clearly noted on all plans and supporting documentation.

Preliminary Site Plan

A full Site Plan detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 1. Name and address of applicant and proof of ownership;
- ___ 2. Name of Development (if applicable);
- ___ 3. Address of site and legal description of the real estate;
- ___ 4. Name and address of the land surveyor;
- ___ 5. Legend and notes, including a graphic scale, north point, and date;
- ___ 6. A separate location map;
- ___ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- ___ 8. Aerial photographs of the subject site and surrounding properties;
- ___ 9. A detailed and scaled Site Plan depicting accurately and in detail the proposed construction, alteration or repair;
- ___ 10. A detailed Existing Conditions Plan including the subject site in its entirety, including all property lines, buildings, structures, curb cuts, sidewalks, drives, ramps and all parking on site and on the street(s) adjacent to the site, and must show the same detail for all adjacent properties within 200 ft. of the subject site's property lines;
- ___ 11. Interior floor plans;
- ___ 12. A chart indicating the dates of any previous approvals by the Planning Board, Board of Zoning Appeals, Design Review Board, or the Historic District Commission ("HDC");

- ___ 13. Existing and proposed layout of streets, open space and other basic elements of the plan;
- ___ 14. Existing and proposed utilities and easements and their purpose;
- ___ 15. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preserve-able trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- ___ 16. General description, location, and types of structures on site;
- ___ 17. Location of sidewalks, curb cuts, and parking lots on subject site and all sites within 200 ft. of the property line;
- ___ 18. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 19. Elevation drawings showing proposed design;
- ___ 20. Screening to be utilized in concealing any exposed mechanical or electrical equipment and all trash receptacle areas;
- ___ 21. Location of all exterior lighting fixtures;
- ___ 22. A Photometric Plan depicting proposed illuminance levels at all property lines;
- ___ 23. A Landscape Plan showing all existing and proposed planting and screening materials, including the number, size, and type of plantings proposed and the method of irrigation; and
- ___ 24. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

Elevation Drawings

Complete elevation drawings detailing the proposed changes for which approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- ___ 25. Color elevation drawings showing the proposed design for each façade of the building;
- ___ 26. List of all materials to be used for the building, marked on the elevation drawings;
- ___ 27. Elevation drawings of all screenwalls to be utilized in concealing any exposed mechanical or electrical equipment, trash receptacle areas and parking areas;
- ___ 28. Details of existing or proposed lighting, signage and other pertinent development features;
- ___ 29. A list of any requested design changes;
- ___ 30. Itemized list and specification sheets of all materials, light fixtures and mechanical equipment to be used, including exact size specifications, color, style, and the name of the manufacturer;
- ___ 31. Location of all exterior lighting fixtures, exact size specifications, color, style and the name of the manufacturer of all fixtures, and a photometric analysis of all exterior lighting fixtures showing light levels to all property lines; and
- ___ 32. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.



Notice Signs - Rental Application Community Development

1. Applicant

Name: _____
 Address: _____

 Phone Number: _____
 Fax Number: _____
 Email address: _____

Property Owner

Name: _____
 Address: _____

 Phone Number: _____
 Fax Number: _____
 Email Address: _____

2. Project Information

Address/Location of Property: _____
 Name of Development: _____
 Area in Acres: _____

Name of Historic District site is in, if any: _____
 Current Use: _____
 Current Zoning: _____

3. Date of Board Review

Board of Building Trades Appeals: _____
 City Commission: _____
 Historic District Commission: _____
 Planning Board: _____

Board of Zoning Appeals: _____
 Design Review Board: _____
 Housing Board of Appeals: _____

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to post the Notice Sign(s) at least 15 days prior to the date on which the project will be reviewed by the appropriate board or commission, and to ensure that the Notice Sign(s) remains posted during the entire 15 day mandatory posting period. The undersigned further agrees to pay a rental fee and security deposit for the Notice Sign(s), and to remove all such signs on the day immediately following the date of the hearing at which the project was reviewed. The security deposit will be refunded when the Notice Sign(s) are returned undamaged to the Community Development Department. Failure to return the Notice Sign(s) and/or damage to the Notice Sign(s) will result in forfeiture of the security deposit.

Signature of Applicant: _____ Date: _____

Office Use Only

Application #: _____	Date Received: _____	Fee: _____
Date of Approval: _____	Date of Denial: _____	Reviewed by: _____



Fee Schedule

Administrative Approval	\$100
Board of Zoning Appeals* <ul style="list-style-type: none"> • Single Family Residential • All Others 	\$310 \$510
Community Impact Study Review*	\$2,050
Design Review*	\$350
Lot Division*	\$200 / parcel affected
Historic District Review* <ul style="list-style-type: none"> • Single Family Residential District • All other zone districts 	No charge \$350
Public Notice Sign	\$100 / refundable deposit \$50 fee
Site Plan Review* <ul style="list-style-type: none"> • R4 through R8 zone district • Nonresidential districts 	\$850 plus \$50 per dwelling unit \$1,050 plus \$50 per acre or portion of acre
Special Land Use Permit* <ul style="list-style-type: none"> • Plus Site Plan Review • Plus Design Review • Plus Publish of Legal Notice • Plus sign rental and deposit 	\$800 \$1,050 \$350 \$450 \$150 Total fee: \$2,800
Special Land Use Permit Annual Renewal Fee	\$200
Temporary Use Permit	\$100
Zoning Compliance Letter	\$50

The fees for Design Review, Site Plan Review, Historic District Review and Special Land Use Permits shall be double the listed amounts in the event the work is commenced prior to the filing of an application for review by the City of Birmingham.

Ordinance No. 1751 (Appendix A, Section 7.38 of the Birmingham City Code)

September 19, 2019

To: City of Birmingham Planning Board

I would like to express my concerns regarding the Final Site plan review for 344 N. Old Woodward (existing office building).

I live at 343 Ferndale and the proposed project is directly behind my home. When I bought my home in January of 2000 I was fully aware that I was buying a house with a 3-story office building in the backyard - I was not concerned as I knew that the building would be unoccupied most evenings and weekends. And it was my understanding at that time that the building was as tall as the zoning allowed.

I have (2) areas of concern regarding this project:

1. The overall process:
 - a. It is disappointing to me that the very first time I was made aware of this proposal was thru a postcard from the city. There was no communication from the building owner to the neighbors who will be highly impacted by this proposed project.
 - b. I'm surprised that the project has already progressed to final review with no preliminary site review having been done.
 - c. I spoke with my neighbors at 333 Ferndale and 347 Ferndale and neither received the notification.
2. The project:
 - a. As of the date of this letter the building plans are not available online – but it is my understanding that the proposal is for (6) residential units (3) of which will be positioned to look directly into my second story and backyard.
 - b. I spoke to Brooks in the planning office and understand that there is a setback requirement on the front (Old Woodward) but that on the rear there is no setback required and units will be build right to the edge of the building.
 - c. But my biggest concern is the undeniable impact to the sunlight, privacy and the ability to enjoy my backyard if these residential units are approved.

I understand and support the efforts of the city to have more residential units downtown but the addition of more \$1,000,000 condos at the detriment of a residential neighborhood does not seem like a good trade off.

Thank you for your consideration.

Kathryn Gaines
343 Ferndale
Katy4001@yahoo.com



Administrative Approval Application

Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: Michele Prentice - Agent MTM
 Address: 401 S. Old Woodward, Suite 100
Birmingham, MI 48009
 Phone Number: 248-642-9000
 Fax Number: 248-236-1490
 Email: michele.prentice@colliers.com

Property Owner

Name: MTM Investments Holdings, LLC
 Address: 102 Pierce Street
Birmingham, MI 48009
 Phone Number: 248-642-9000
 Fax Number: 248-236-1490
 Email: michele.prentice@colliers.com

2. Applicant's Attorney/Contact Person

Name: Kermit Ball
 Address: 1509 Sunset Blvd
Royal Oak, MI 48067
 Phone Number: 248-688-7194
 Fax Number: _____
 Email: Kermitball@icloud.com

Project Designer

Name: House of M Design
 Address: 102 Pierce Street
Birmingham, MI 48009
 Phone Number: 586-219-6558
 Fax Number: _____
 Email: rene@houseofmdesignllc.com

3. Project Information

Address/Location of Property: 379 S. Old Woodward
 Name of Development: First Community Bank
 Parcel ID #: 08-19-36-208-017
 Current Use: retail
 Area in Acres: _____
 Current Zoning: _____

Name of Historic District site is in, if any: N/A
 Date of HDC Approval, if any: _____
 Date of Application for Preliminary Site Plan: _____
 Date of Preliminary Site Plan Approval: _____
 Date of Application for Final Site Plan: _____
 Date of Final Site Plan Approval: _____
 Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

See attached rendering, minor paint and awning change.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Michele Prentice Date: 10-9-19

Application #: <u>PAA19-0162</u>	Office Use Only Date Received: <u>10/11/19</u>	Fee: <u>\$100.00</u>
Date of Approval: <u>10-11-19</u>	Date of Denial: _____	Reviewed by: <u>[Signature]</u>

APPROVED
[Signature]
10-11-19

CITY OF BIRMINGHAM
 Date 10/09/2019 12:42:02 PM
 Ref 00163555
 Receipt 307955
 Amount \$100.00



ADMINISTRATIVE APPROVAL APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: Michelle Prentice, agent Date: 10-9-19

Address: 401 S. Old Woodward Project: First Community Bank

All site plans and elevation drawings prepared for administrative approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording.

Administrative Approval of Design Changes

- 1. Name and address of applicant and proof of ownership;
- 2. Name of Development (if applicable);
- 3. Address of site and legal description of the real estate;
- 4. A separate location map;
- 5. Legend and notes, including a graphic scale, north point, and date;
- 6. A list of all requested design changes;
- 7. Elevation drawings with all requested design changes marked in color;
- 9. A list of all new materials to be used, including size specifications, color and the name of the manufacturer.

Administrative Approval of Site Plan Changes

A full site plan detailing the proposed changes for which administrative approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- 1. Name and address of applicant and proof of ownership;
- 2. Name of Development (if applicable);
- 3. Address of site and legal description of the real estate;
- 4. Name and address of the land surveyor;
- 5. Legend and notes, including a graphic scale, north point, and date;
- 6. A separate location map;
- 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- 8. A list of all requested changes to the site plan;
- 9. All changes requested marked in color on the site plan and on all elevations of any building(s);
- 10. A chart indicating the dates of approval of the Preliminary Site Plan, Final Site Plan; Revised Final Site Plans, and any dates of approval by the Historic District Committee ("HDC");
- 11. Existing and proposed layout of streets, open space and other basic elements of the plan;
- 12. Existing and proposed easements and their purpose;



Fee Schedule

Administrative Approval	\$100.00
Board of Zoning Appeals	
• Single Family Residential	\$310
• All Others	\$510
Community Impact Study Review	\$2,000 / plus postage
Design Review	\$300 / plus postage
Lot Division	\$200 / parcel affected
Historic District Review	
• Single Family Residential District	No charge
• All other zone districts	\$300 / plus postage
Public Notice Sign	\$50 / refundable deposit \$50 fee
Site Plan Review	
• R4 through R8 zone district	\$800 / plus postage plus \$50 per dwelling unit
• Nonresidential districts	\$1000 / plus postage plus \$50 per acre or portion of acre
Special Land Use Permit	\$750 / plus postage
• Plus Site Plan Review	\$750
• Plus Design Review	\$300 (Total fee: \$1800 / plus postage)
Special Land Use Permit Annual Renewal Fee	\$200.00
Zoning Compliance Letter	\$50
Zoning Ordinance Amendment Hearing (Rezoning)	\$1500

The fees for design review, site plan review, historic district review and special land use permits shall be double the listed amounts in the even the work is commenced prior to the filing of an application for review by the City of Birmingham.

Ordinance No. 1751 (Appendix A, Section 7.38 of the Birmingham City Code)

EXTERIOR OPTION ONE

Shown with FCB Logo Sign and option for Black, Silver, or Gray canopy color | New canopy gets larger than existing, add cable ties | Existing entrance door to remain.



RECEIVED
OCT 09 2019
CITY OF BIRMINGHAM
COMMUNITY DEVELOPMENT DEPARTMENT



Maria Claire
Le Lèvres and Cheveux Salons

Yoga

ESCOVA
SALOON

EXTERIOR OPTION ONE

Shown with FCB Logo Sign and option for Black, Silver, or Gray canopy color | New canopy gets larger than existing, add cable ties | Existing entrance door to remain.



RECEIVED
OCT 09 2019
CITY OF BIRMINGHAM
COMMUNITY DEVELOPMENT DEPARTMENT



Mani Clinic
for Laser and Cosmetic Surgery

yoga

ESCOVA
SALON

APPROVED
9/24/19
PAA-19-0154

Administrative Approval Application

Planning Division

Form will not be processed until it is completely filled out

1. Applicant

Name: Frank Dalio, Black & Veatch agent for AT&T
 Address: 900 Oakmont Lane Ste. 100
Westmont, IL 60559
 Phone Number: 630-686-3402
 Fax Number: _____
 Email: DalioF@bv.com

Property Owner

Name: Teodor D. Robaciu / James D Oegena- President
 Address: of Condos at Birmingham Place Assoc.
401 S Old Woodward Ave. Birmingham, MI 48009
 Phone Number: _____
 Fax Number: _____
 Email: _____

2. Applicant's Attorney/Contact Person

Name: _____
 Address: _____
 Phone Number: _____
 Fax Number: _____
 Email: _____

Project Designer

Name: Black & Veatch, Ping Jiang
 Address: 900 Oakmont Lane Ste. 100
Westmont, IL 60559
 Phone Number: 630-686-3402
 Fax Number: _____
 Email: DalioF@bv.com

3. Project Information

Address/Location of Property: 401 S. Old Woodward Ave
Birmingham, MI 48009
 Name of Development: _____
 Parcel ID #: 08-19-36-208-017
 Current Use: _____
 Area in Acres: _____
 Current Zoning: _____

Name of Historic District site is in, if any: _____
 Date of HDC Approval, if any: _____
 Date of Application for Preliminary Site Plan: _____
 Date of Preliminary Site Plan Approval: _____
 Date of Application for Final Site Plan: _____
 Date of Final Site Plan Approval: _____
 Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

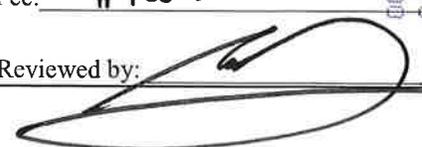
5. Details of the Request for Administrative Approval

Minor modification to an existing wireless communication rooftop facility.
Swap (3) Antennas, Swap (3) RRH's, Install (7) Converters, Install (1) LTE 5G NR BBU

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: Frank Dalio Digitally signed by Frank Dalio
DN: C=US, E=daliof@bv.com,
O="Black & Veatch", OU="Telecom,
Site Acquisition", CN="Frank Dalio"
Date: 2019.08.21 15:40:11-05'00' Date: 08/21/19

CITY OF BIRMINGHAM
 Date 09/24/2019 10:53:14 AM
 Ref 00164753
 Receipt #05775
 Amount \$100.00

Application #:	<u>PAA 19-0154</u>	Date Received:	<u>8/21/19</u>	Fee:	<u>\$100.00</u>
Date of Approval:	<u>9/24/19</u>	Date of Denial:	<u>N/A</u>	Reviewed by:	



CONSENT OF PROPERTY OWNER

I, Condominiums at Birmingham Place Assoc OF THE STATE OF Michigan AND COUNTY OF

(Name of property owner)

Oakland STATE THE FOLLOWING:

- 1. That I am the owner of real estate located at 401 S. Woodward Ave. Birmingham, MI 48009 ;
(Address of affected property)
- 2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
AT&T ;
(Name of applicant)
- 3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 8.15.19

James D Oegena - President
Owner's Name (Please Print)

[Handwritten Signature]
Owner's Signature

STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT

54308ATTMI-S
WOODWARD (MI3165)
401 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI 48009

B&V PROJECT NO. 129056
PROJECT NAME: LTE 5G NR RF MOD

PREPARED FOR



16025 NORTHLAND DRIVE
SOUTHFIELD, MI 48075



BLACK & VEATCH CORPORATION
6800 WEST 115TH ST, SUITE 2292
OVERLAND PARK, KANSAS 66211

June 18, 2019



06/19/2019

Yong Yu, P.E.



BLACK & VEATCH

Owner:	AT&T	Computed By:	Yardnamfon D.	
Site Name:	WOODWARD (MI3165)	Date:	6/18/2019	
Project No.	129056	File No.	54308ATTMI-S	
		Verified By:	C. Wen	
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT		Date:	6/18/2019

1. PURPOSE

The purpose of this calculation is to evaluate the existing antenna mount and penthouse wall under proposed loading configurations.

2. REFERENCES

- A. 2015 Michigan State Building Code
- B. International Building Code, IBC 2015
- C. Structural Standard for Antenna Supporting Structures and Antennas, TIA-222-G
- D. American Society of Civil Engineers, ASCE 7-10
- E. American Institute of Steel Construction, AISC 14th Edition
- F. Structural Analysis Completed by Paul J. Ford & Company, dated 09/01/2017
- G. RF Safety Survey Report Completed by SiteSafe, dated 08/08/2018
- H. Construction Drawings (Rev A) Completed by Black & Veatch Corporation, dated 06/13/2019
- I. Site Photos

3. ASSUMPTIONS

- In this analysis, only the positions for the proposed antennas were analyzed. This antenna mount with proposed loading is the worst case for all sectors. Structural analysis results will be conservative for all other existing antenna mounts.

- Existing mount pipe is pipe 2.5SCH40.

- Existing wall mount bracket is Unistrut mount with (2) 1/2" dia thru bolts per bracket.



BLACK & VEATCH

Owner:	AT&T	Computed By:	Yardnamfon D.	
Plant:	WOODWARD (MI3165)	Date:	6/18/2019	
Project No.	129056	File No.	54308ATTMI-S	
		Verified By:	C. Wen	
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT		Date:	6/18/2019

4.3 Disclaimers

This calculation is based on the loading and equipment position provided by client. If the installed loading and/or equipment position are different from the calculation, the calculation is considered invalid.

This certification assumes that all structural members are in good condition. Contractor shall inspect the condition of all relevant members and connectors and report any perceived deficiencies to the engineer prior to installation of any new equipment.

The contractor shall be responsible for the means and methods of construction. It is contractor's responsibility to provide necessary intermediate or temporary support during construction.

In this analysis, only the positions for the proposed antennas were analyzed. This antenna mount with proposed loading is the worst case for all sectors. Structural analysis results will be conservative for all others existing antenna mounts.



BLACK & VEATCH

Owner:	AT&T	Computed By:	Yardnamfon D.
Site Name:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.	129056	File No.	54308ATTMI-S
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT	Verified By:	C. Wen
		Date:	6/18/2019

Wind Pressure per ASCE 7-10 / IBC 2012/2015

a. Ultimate Velocity Pressure, q_z or q_h

Basic Wind Speed, $V_{ult} = 115$ mph

$$q_z = 0.00256 K_z K_{zt} K_d V^2$$

$$= 0.00256 \times 1.04 \times 1.00 \times 0.85 \times 115.00^2$$

$q_z = 29.96$ psf

b. Velocity pressure coefficient, K_z

Exposure Category = **B**

$$K_z = 2.01 (z/z_g)^{2/\alpha}$$

$$= 2.01 (120 / 1,200)^{2/7.0}$$

$K_z = 1.04$

Height above Ground Level, $z = 120$ ft

$z_g = 1200.00$ ft

$\alpha = 7.00$

c. Topographic Factor, K_{zt}

Hill Shape **Flat Terrain**

Crest Type **Upwind**

$H = 15$ ft

Distance Upwind of crest, $L_h = 15$ ft

Distance Upwind to Bldg Site, $x = 15$ ft

$$K_1 = 0.00$$

$$K_2 = (1 - x / \mu L_h)$$

$$= [1 - 15 / (0.0 \times 15)]$$

$K_2 = 0.00$

$$K_3 = e^{(\gamma z / L_h)}$$

$$= e^{-(0.0 \times 120 / 15)}$$

$K_3 = 0.00$

$$K_{zt} = [1 + K_1 K_2 K_3]^2$$

$$= [1 + 0.00 \times 0.00 \times 0.00]^2$$

$K_{zt} = 1.00$

d. Wind Directionality Factor, K_d

(8) Solid Sign

$K_d = 0.85$

e. Structure Risk Category

II

f. Gust Effect Factor, G

$G = 0.85$

ASCE 7-10 Section #
29.3.2 Fig. 26.5-1A Eq. 29.3-1
29.3.1 Table 29.3-1
26.8.2 Fig. 26.8-1
Table 26.6-1
Table 1.5-1
26.9



BLACK & VEATCH

Owner:	AT&T	Computed By:	Yardnamfon D.
Site Name:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.	129056	File No.	54308ATTMI-S
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT	Verified By:	C. Wen
		Date:	6/18/2019

Wind Load (Continued)Wind Load on Equipment:

(P) Commscope NNH4-65C-R6-V3

Dimensions:	B=	1.63 ft.		
	H=	8.00 ft.		
Force Coefficient:	Ca=	1.31		
Wind Load:	Pa=	$Qz * G * Ca * B * H$	=	434.8 lbs.
				217.4 lbs/pt

(P) RRH 4T4R B5 160W AHCA

Dimensions:	B=	0.97 ft.		
	H=	1.11 ft.		
Force Coefficient:	Ca=	1.20		
Wind Load:	Pa=	$Qz * G * Ca * B * H$	=	32.7 lbs.
				16.37 lbs/pt

Note:

30° and 60° application of wind load will be considered directly in the load combinations by applying load factors of 0.866 (from cos 30 or sin 60) and 0.5 (from sin 30 or cos 60) 60mph service wind will also be considered directly in the load combinations by applying a reduction factor of **0.272** based on $(60\text{mph})^2 / (115\text{mph})^2$.



BLACK & VEATCH

Owner:	AT&T	Computed By:	Yardnamfon D.
Site Name:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.	129056	File No.	54308ATTMI-S
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT	Verified By:	C. Wen
		Date:	6/18/2019

Ice Wind Pressure per ASCE 7-10 / IBC 2012/2015a. Ultimate Velocity Pressure, q_z or q_h

$$q_z = 0.00256 K_z K_{zt} K_d V^2$$

$$= 0.00256 \times 1.04 \times 1.00 \times 0.85 \times 40.00^2$$

$$q_z = 3.62 \text{ psf}$$

Basic Wind Speed, $V_{ult} = 40$ mphb. Velocity pressure coefficient, K_z

$$K_z = 2.01 (z/z_g)^{2/\alpha}$$

$$= 2.01 (120 / 1,200)^{2/7.0}$$

$$K_z = 1.04$$

$$\alpha = 7.00$$

Exposure Category = **B**Height above Ground Level, $z = 120$ ft $z_g = 1200.00$ ftc. Topographic Factor, K_{zt}

$$\mu = 0.00$$

$$\gamma = 0.00$$

$$K_1 = 0.00$$

$$K_2 = (1 - x / \mu L_h)$$

$$= [1 - 15 / (0.0 \times 15)]$$

$$K_2 = 0.00$$

$$K_3 = e^{(\gamma z / L_h)}$$

$$= e^{-(0.0 \times 120 / 15)}$$

$$K_3 = 0.00$$

 $H = 15$ ftHill Shape **Flat Terrain**Crest Type **Upwind**Distance Upwind of crest, $L_h = 15$ ftDistance Upwind to Bldg Site, $x = 15$ ft

$$K_{zt} = [1 + K_1 K_2 K_3]^2$$

$$= [1 + 0.00 \times 0.00 \times 0.00]^2$$

$$K_{zt} = 1.00$$

d. Wind Directionality Factor, K_d **(8) Solid Sign** $K_d = 0.85$

e. Structure Risk Category

IIf. Gust Effect Factor, G $G = 0.85$ **ASCE 7-10
Section #**

29.3.2

Fig. 10-2
Eq. 29.3-1

29.3.1

Table 29.3-1

26.8.2

Fig. 26.8-1

Eq. 26.8-1

Table 26.6-1

0

0

Table 1.5-1

26.9



Owner:	AT&T	Computed By:	Yardnamfon D.
Site Name:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.	129056	File No.	54308ATTMI-S
		Verified By:	C. Wen
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT	Date:	6/18/2019

BLACK & VEATCH

Ice Wind Load (Continued)

Ice Wind Load on Equipment:

(P) Commscope NNH4-65C-R6-V3

Dimensions:	B=	$1.63 \text{ ft} + (2 \text{ Tiz}) / 12 =$	2.01 ft.
	H=	$8.00 \text{ ft} + (2 \text{ Tiz}) / 12 =$	8.38 ft.
Force Coefficient:	Ca=	1.31	
Wind Load:	Pa=	$Q_z \text{ ice} * G * Ca * B * H =$	67.9 lbs.
			33.9 lbs/pt

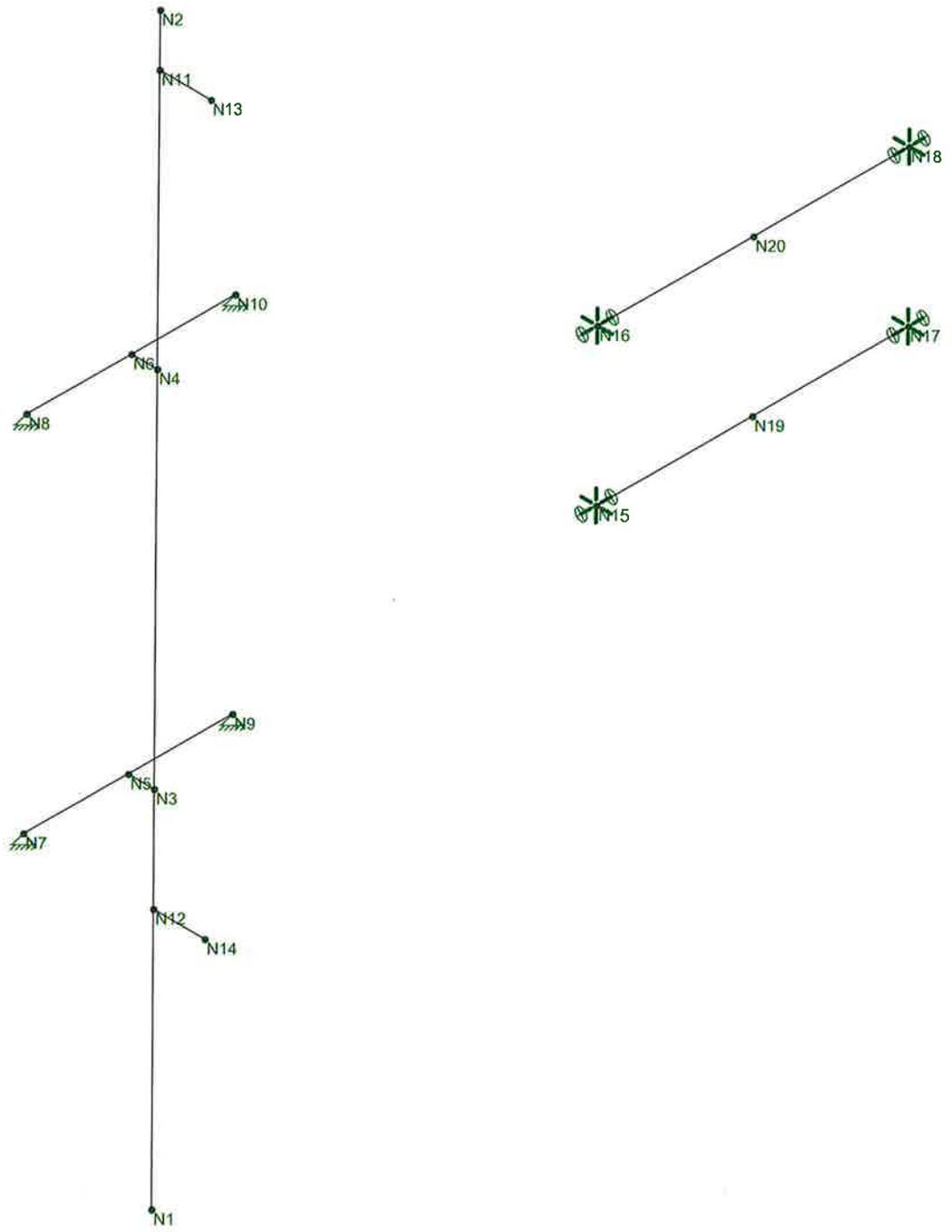
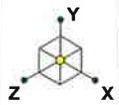
(P) RRH 4T4R B5 160W AHCA

Dimensions:	B=	$0.97 \text{ ft} + (2 \text{ Tiz}) / 12 =$	1.35 ft.
	H=	$1.11 \text{ ft} + (2 \text{ Tiz}) / 12 =$	1.49 ft.
Force Coefficient:	Ca=	1.20	
Wind Load:	Pa=	$Q_z \text{ ice} * G * Ca * B * H =$	7.4 lbs.
			3.70 lbs/pt

Note:

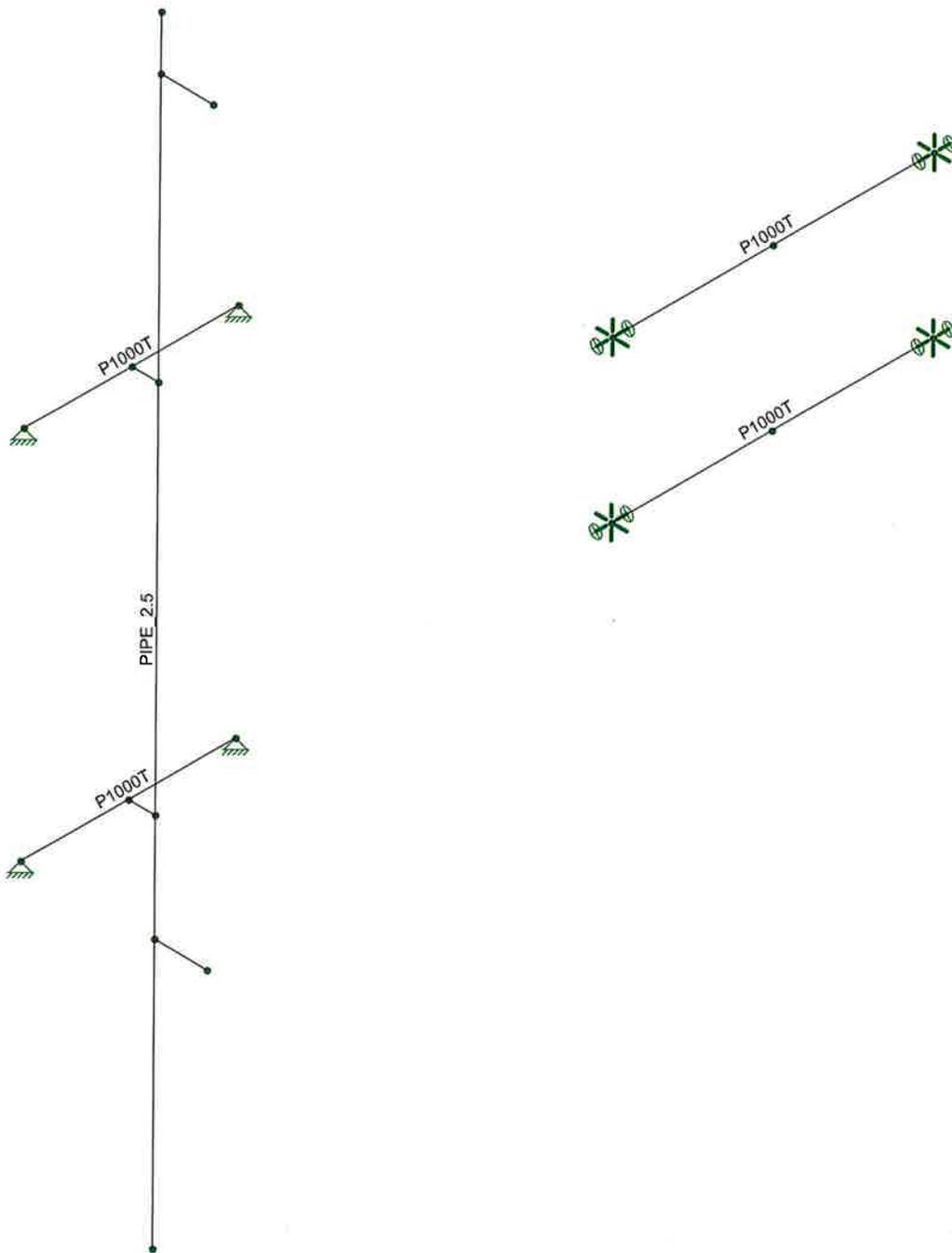
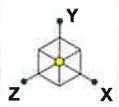
30° and 60° application of wind load will be considered directly in the load combinations by applying load factors of 0.866 (from cos 30 or sin 60) and 0.5 (from sin 30 or cos 60)

REVISED, SUPERSEDED, AND VOID CALCULATIONS MUST BE CLEARLY IDENTIFIED, INITIALED, AND DATED BY THE RESPONSIBLE INDIVIDUAL.



Envelope Only Solution

Black & Veatch Corp.	54308ATTMI-S Antenna Mount Analysis	SK - 2
Yardnamfon D.		June 18, 2019 at 9:56 AM
129056.8900		54308ATTMI-S Risa Model.r3d



Envelope Only Solution

Black & Veatch Corp.

Yardnamfon D.

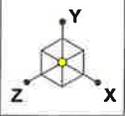
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54308ATTMI-S Antenna Mount Analysis

SK - 4

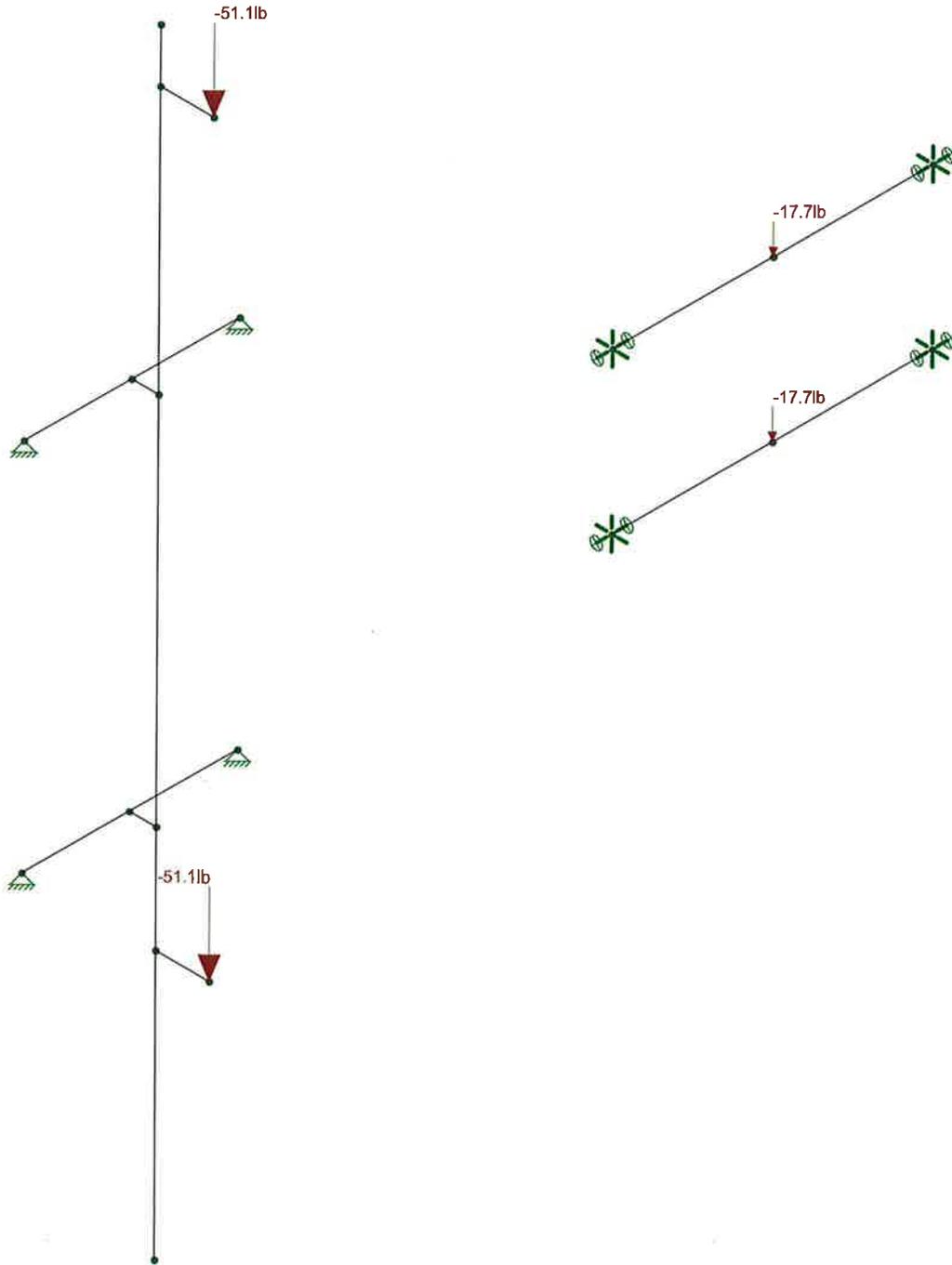
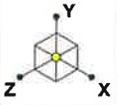
June 18, 2019 at 9:57 AM

54308ATTMI-S Risa Model.r3d



Envelope Only Solution

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Yardnamfon D.		June 18, 2019 at 9:57 AM
129056.8900		54308ATTMI-S Risa Model.r3d



Loads: BLC 1, DL
Envelope Only Solution

Black & Veatch Corp.

Yardnamfon D.

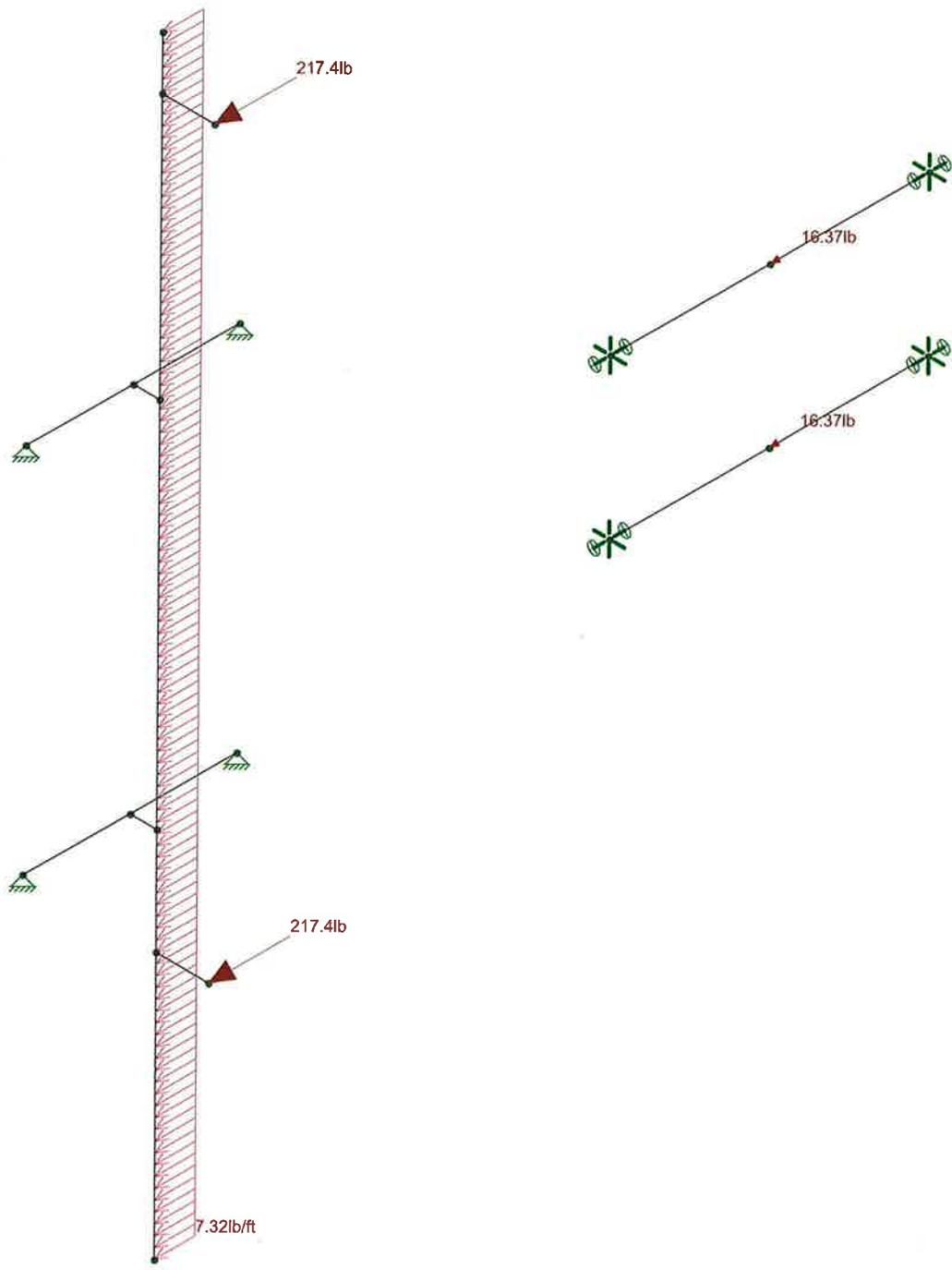
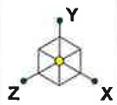
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54308ATTMI-S Antenna Mount Analysis

SK - 8

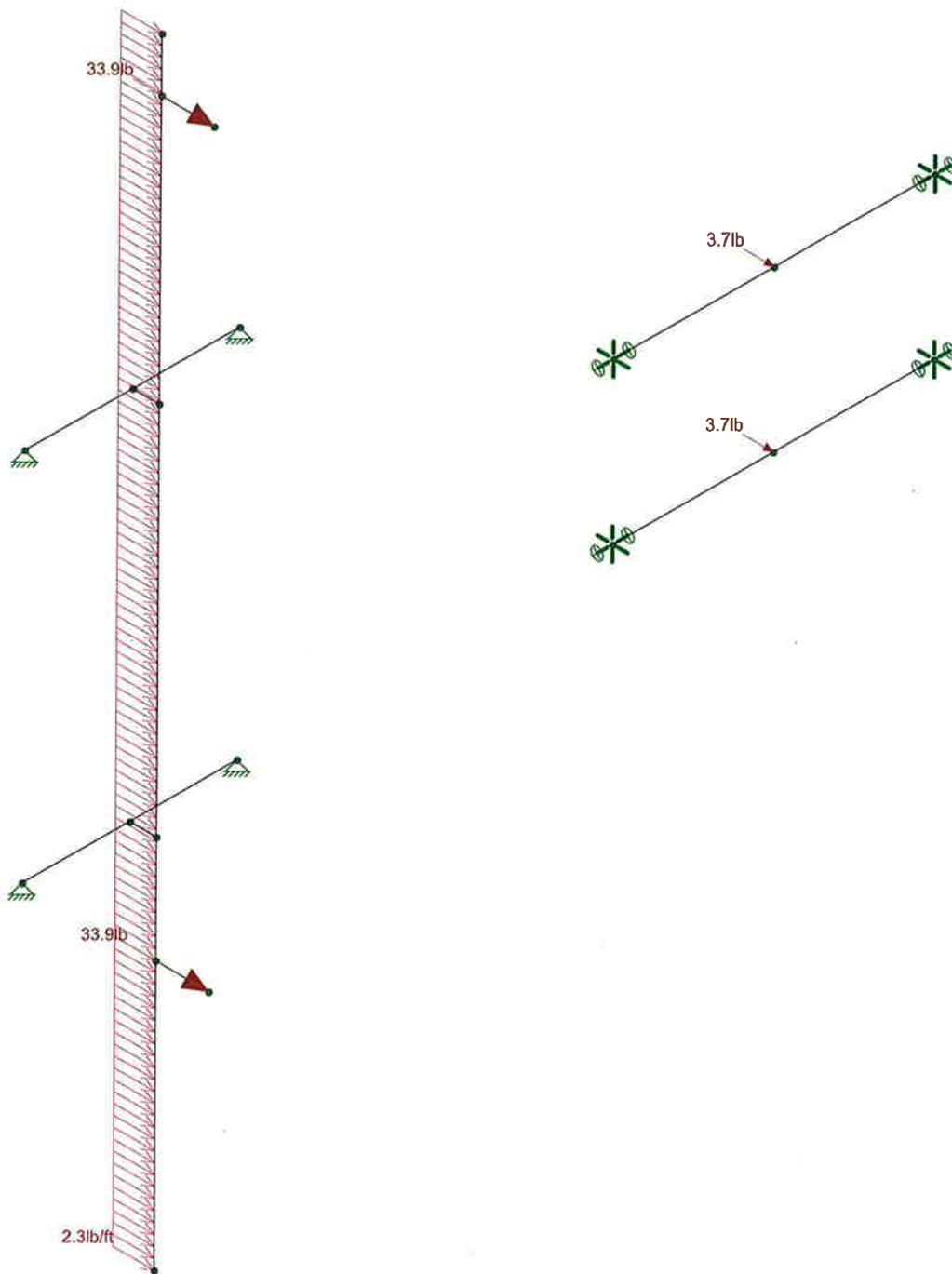
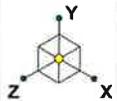
June 18, 2019 at 9:58 AM

54308ATTMI-S Risa Model.r3d



Loads: BLC 4, Wind - 90 Deg (+Z)
Envelope Only Solution

Black & Veatch Corp.	54308ATTMI-S Antenna Mount Analysis	SK - 10
Yardnamfon D.		June 18, 2019 at 9:58 AM
129056.8900		54308ATTMI-S Risa Model.r3d



Loads: BLC 6, Ice Wind - 0 Deg (+X)
Envelope Only Solution

Black & Veatch Corp.

Yardnamfon D.

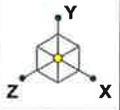
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54308ATTMI-S Antenna Mount Analysis

SK - 12

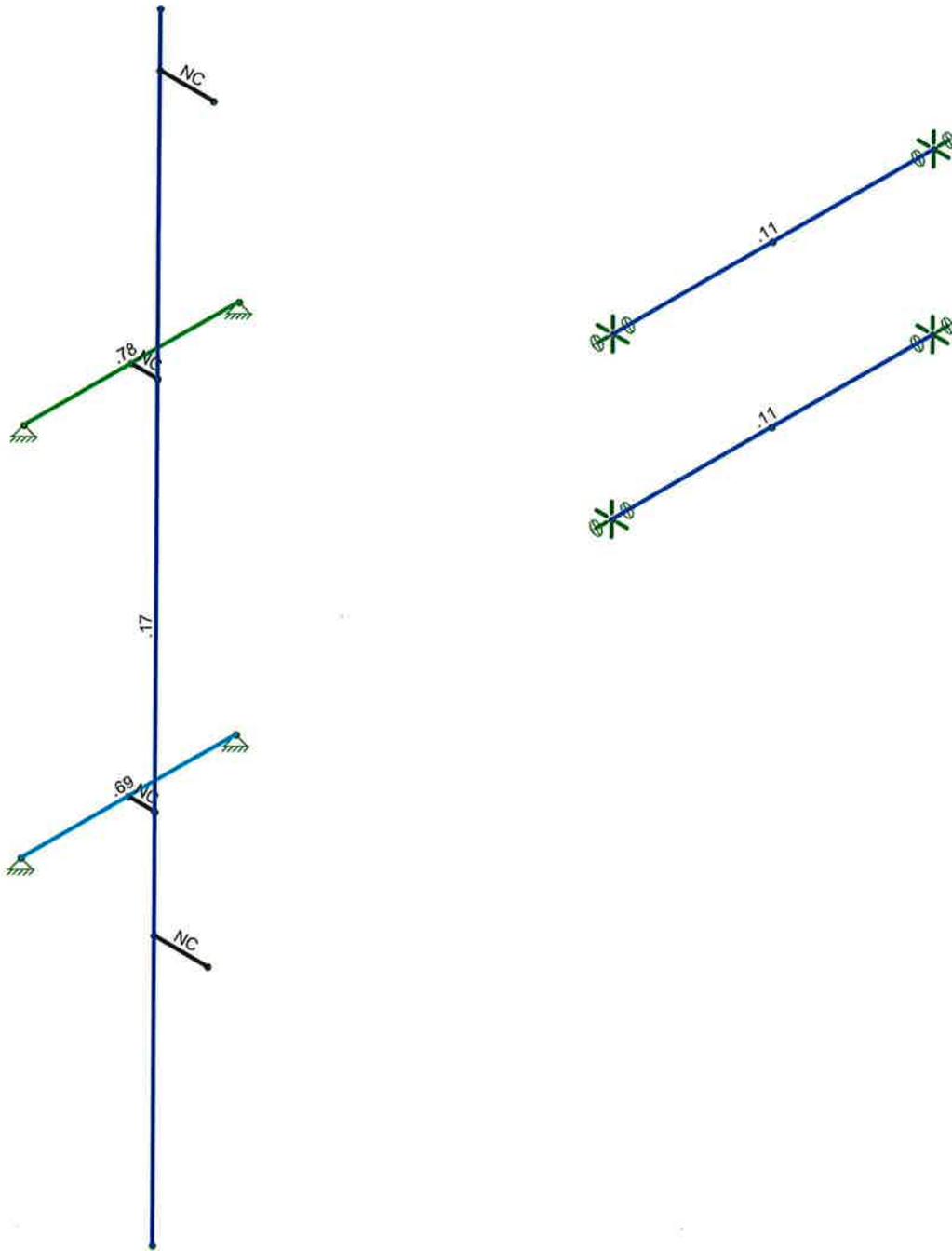
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54308ATTMI-S Risa Model.r3d



Code Check (Env)

- No Calc
- > 1.0
- .90-1.0
- .75-90
- .50-.75
- 0-.50



Member Code Checks Displayed (Enveloped)
Envelope Only Solution

Black & Veatch Corp.

Yardnamfon D.

129056.8900

54308ATTMI-S Antenna Mount Analysis

SK - 14

June 18, 2019 at 10:01 AM

54308ATTMI-S Risa Model.r3d



Company : Black & Veatch Corp.
 Designer : Yardnamfon D.
 Job Number : 129056.8900
 Model Name : 54308ATTMI-S Antenna Mount Analysis

June 18, 2019
 10:12 AM
 Checked By: C. Wen

(Global) Model Settings

Display Sections for Member Calcs	3
Max Internal Sections for Member Calcs	99
Include Shear Deformation?	Yes
Increase Nailing Capacity for Wind?	Yes
Include Warping?	Yes
Trans Load Btwn Intersecting Wood Wall?	Yes
Area Load Mesh (in^2)	144
Merge Tolerance (in)	.12
P-Delta Analysis Tolerance	0.50%
Include P-Delta for Walls?	Yes
Automatically Iterate Stiffness for Walls?	Yes
Max Iterations for Wall Stiffness	3
Gravity Acceleration (ft/sec^2)	32.2
Wall Mesh Size (in)	24
Eigenolution Convergence Tol. (1.E-)	4
Vertical Axis	Y
Global Member Orientation Plane	XZ
Static Solver	Sparse Accelerated
Dynamic Solver	Accelerated Solver

Hot Rolled Steel Code	AISC 14th(360-10): LRFD
Adjust Stiffness?	Yes(Iterative)
RISAConnection Code	None
Cold Formed Steel Code	AISI S100-16: LRFD
Wood Code	None
Wood Temperature	< 100F
Concrete Code	None
Masonry Code	None
Aluminum Code	None - Building
Stainless Steel Code	None

Number of Shear Regions	4
Region Spacing Increment (in)	4
Biaxial Column Method	Exact Integration
Parme Beta Factor (PCA)	.65
Concrete Stress Block	Rectangular
Use Cracked Sections?	Yes
Use Cracked Sections Slab?	No
Bad Framing Warnings?	No
Unused Force Warnings?	Yes
Min 1 Bar Diam. Spacing?	No
Concrete Rebar Set	REBAR SET ASTMA615
Min % Steel for Column	1
Max % Steel for Column	8



Company : Black & Veatch Corp.
 Designer : Yardnamfon D.
 Job Number : 129056.8900
 Model Name : 54308ATTMI-S Antenna Mount Analysis

June 18, 2019
 10:12 AM
 Checked By: C. Wen

Joint Coordinates and Temperatures (Continued)

	Label	X [ft]	Y [ft]	Z [ft]	Temp [F]	Detach From Diap...
12	N12	.25	2.75	0	0	
13	N13	.75	9.75	0	0	
14	N14	.75	2.75	0	0	
15	N15	0	3.75	-4.5	0	
16	N16	0	5.25	-4.5	0	
17	N17	0	3.75	-7.5	0	
18	N18	0	5.25	-7.5	0	
19	N19	0	3.75	-6	0	
20	N20	0	5.25	-6	0	

Joint Boundary Conditions

	Joint Label	X [k/in]	Y [k/in]	Z [k/in]	X Rot. [k-ft/rad]	Y Rot. [k-ft/rad]	Z Rot. [k-ft/rad]
1	N8	Reaction	Reaction	Reaction			
2	N10	Reaction	Reaction	Reaction			
3	N7	Reaction	Reaction	Reaction			
4	N9	Reaction	Reaction	Reaction			
5	N15	Reaction	Reaction	Reaction			Reaction
6	N16	Reaction	Reaction	Reaction			Reaction
7	N17	Reaction	Reaction	Reaction			Reaction
8	N18	Reaction	Reaction	Reaction			Reaction

Member Primary Data

	Label	I Joint	J Joint	K Joint	Rotate(deg)	Section/Shape	Type	Design List	Material	Design Rules
1	M1	N1	N2			Pipe Mount	Column	Pipe	A53 Gr.B	Typical
2	M2	N5	N3			RIGID	None	None	RIGID	Typical
3	M3	N6	N4			RIGID	None	None	RIGID	Typical
4	M4	N7	N9			Unistrut	Beam	CS	A653 Gr.3...	Typical
5	M5	N8	N10			Unistrut	Beam	CS	A653 Gr.3...	Typical
6	M6	N12	N14			RIGID	None	None	RIGID	Typical
7	M7	N11	N13			RIGID	None	None	RIGID	Typical
8	M8	N15	N17			Unistrut	Beam	CS	A653 Gr.3...	Typical
9	M9	N16	N18			Unistrut	Beam	CS	A653 Gr.3...	Typical

Member Advanced Data

	Label	I Release	J Release	I Offset[in]	J Offset[in]	T/C Only	Physical Defl	Ratio Options	Analysis ...	Inactive	Seismi...
1	M1						Yes	** NA **			None
2	M2						Yes	** NA **			None
3	M3						Yes	** NA **			None
4	M4						Yes				None
5	M5						Yes				None
6	M6						Yes	** NA **			None
7	M7						Yes	** NA **			None
8	M8						Yes				None
9	M9						Yes				None

Hot Rolled Steel Design Parameters

	Label	Shape	Length[ft]	Lbyy[ft]	Lbzz[ft]	Lcomp top[ft]	Lcomp bot[ft]	L-torg...	Kyy	Kzz	Cb	Functi...
1	M1	Pipe Mount	10									Lateral



BLACK & VEATCH

Owner:	AT&T	Prepared By:	Yardnamfon D.
Plant:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.:	129056	File No.:	54308ATTMI-S
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT	Verified By:	C. Wen
		Date:	6/18/2019

Structural Analysis of Existing Thru Bolt for Antenna Wall Mount (LRFD)

AISC 14th Ed.

Load Inputs:

Vertical Force

$$F_y = 265 \text{ lbs}$$

Horizontal Force (Tension)

$$F_x = 209 \text{ lbs}$$

Horizontal Force

$$F_z = 156 \text{ lbs}$$

Moment about Y-Axis

$$M_y = 0 \text{ lbs-ft}$$

Moment about X-Axis

$$M_x = 0 \text{ lbs-ft}$$

Moment about Z-Axis

$$M_z = 0 \text{ lbs-ft}$$

Force Couple Y-Axis

$$D_y = 0 \text{ in}$$

Force Couple Z-Axis

$$D_z = 0 \text{ in}$$

Number of Anchors

$$N = 1$$

Shear from F_y

$$S_y = 265 \text{ lbs}$$

$$S_y = F_y / N$$

Tension from F_x

$$T_x = 209 \text{ lbs}$$

$$T_x = F_x / N$$

Shear from F_z

$$S_z = 156 \text{ lbs}$$

$$S_z = F_z / N$$

Tension from M_y

$$T_{my} = 0 \text{ lbs}$$

$$T_{my} = M_y / D_z / (N/2)$$

Shear from M_x

$$S_{mx} = 0 \text{ lbs}$$

$$S_{mx} = M_x / D_z / N$$

Tension from M_z

$$T_{mz} = 0 \text{ lbs}$$

$$T_{mz} = M_z / D_y / (N/2)$$

Total Shear

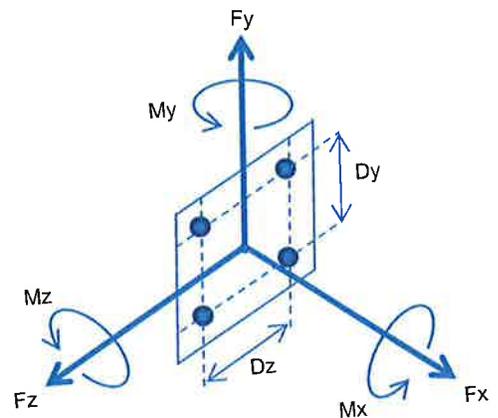
$$S = 308 \text{ lbs}$$

$$S = \text{SQRT}(S_x^2 + S_z^2 + S_{my}^2)$$

Total Tension

$$T = 209 \text{ lbs}$$

$$T = T_y + T_{mx} + T_{mz}$$





BLACK & VEATCH

Owner:	AT&T	Prepared By:	Yardnamfon D.
Plant:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.	129056	File No.	54308ATTMI-S
Title:	STRUCTURAL ANALYSIS OF EXISTING EQUIPMENT MOUNT	Verified By:	C. Wen
		Date:	6/18/2019

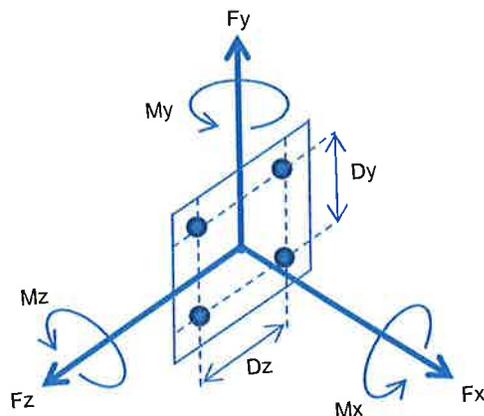
Structural Analysis of Existing Thru Bolt for Equipment Wall Mount (LRFD)

AISC 14th Ed.

Load Inputs:

Vertical Force
 Horizontal Force (Tension)
 Horizontal Force
 Moment about Y-Axis
 Moment about X-Axis
 Moment about Z-Axis

Fy =	52	lbs
Fx =	8	lbs
Fz =	8	lbs
My =	0	lbs-ft
Mx =	0	lbs-ft
Mz =	0	lbs-ft



Force Couple Y-Axis
 Force Couple Z-Axis
 Number of Anchors

Dy =	0	in
Dz =	0	in
N =	1	

Shear from Fy
 Tension from Fx
 Shear from Fz
 Tension from My
 Shear from Mx
 Tension from Mz

Sy =	52	lbs	$Sy = Fy / N$
Tx =	8	lbs	$Tx = Fx / N$
Sz =	8	lbs	$Sz = Fz / N$
Tmy =	0	lbs	$Tmy = My / Dz / (N/2)$
Smx =	0	lbs	$Smx = Mx / Dz / N$
Tmz =	0	lbs	$Tmz = Mz / Dy / (N/2)$

Total Shear
 Total Tension

S =	53	lbs	$S = \text{SQRT}(Sx^2 + Sz^2 + Smy^2)$
T =	8	lbs	$T = Ty + Tmx + Tmz$



BLACK & VEATCH

Owner:	AT&T	Computed By:	Yardnamfon D.
Project:	WOODWARD (MI3165)	Date:	6/18/2019
Project No.	129056	File No.	54308ATTMI-S
		Verified By:	C. Wen
Title:	STRUCTURAL ANALYSIS OF EXISTING ANTENNA MOUNT	Date:	6/18/2019

5.2 Structural Assessment of Existing Penthouse Wall

By inspection and engineering judgment, the final configuration of the antenna loadings will not have an adverse effect on the existing penthouse wall.

4 Site Photographs



Figure 1: AT&T MOBILITY LLC Alpha Sector, Antennas 1, 2, 3 and 4



Figure 2: AT&T MOBILITY LLC Alpha Sector, Antennas 1, 2, 3 and 4 - Overview



Figure 5: AT&T MOBILITY LLC Beta Sector, Antennas 5, 6, 7 and 8 – Overview



Figure 6: AT&T MOBILITY LLC Gamma Sector, Antennas 9, 10, 11 and 12

THIS DOCUMENT WAS PREPARED BASED ON THE INFORMATION PROVIDED TO BLACK & VEATCH. IF EXISTING CONDITIONS DO NOT REFLECT THOSE REPRESENTED, THESE CONSTRUCTION DRAWINGS ARE NO LONGER VALID.

NOTES:

- GROUND EQUIPMENT AND/OR EQUIPMENT SHELTERS OMITTED FOR CLARITY.

THESE DRAWINGS HAVE BEEN CREATED BASED ON THE ASSUMPTION THAT THE STRUCTURE HAS SUFFICIENT CAPACITY TO SUPPORT THE PROPOSED LOADS. IT IS THE RESPONSIBILITY OF THE TOWER OWNER AND/OR TOWER OWNER DESIGNATED ENGINEER TO CONFIRM THAT THE PROPOSED LOADINGS AND CONNECTIONS OF THOSE LOADS ON THE TOWER ARE WITHIN THE ORIGINAL DESIGN CAPACITY OF THE STRUCTURE.

INSTALLATION OF COAX AND /OR ANTENNAS SHALL NOT COMMENCE UNTIL SUFFICIENT INFORMATION HAS BEEN PROVIDED THAT SUPPORTS THE ADEQUATE CAPACITY OF THE TOWER.

APPLICANT/OWNER:

AT&T MOBILITY

16025 NORTHLAND DR
SOUTHFIELD, MI 48075

PREPARED BY:



BLACK & VEATCH

6800 W. 115TH ST, SUITE 2292
OVERLAND PARK, KANSAS 66211
(913) 458-2000

PROJECT NUMBER: 129056

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

APPROVED/PROPERTY OWNER SIGNATURE

STRUCTURAL ANALYSIS NOTE 2

THE EXISTING MOUNTS HAVE NOT BEEN ANALYZED FOR THE EXISTING AND PROPOSED LOADS. NO PROPOSED LTE WORK SHALL COMMENCE ON THIS TOWER UNTIL AFTER THE MOUNT HAS BEEN ANALYZED AND DETERMINED ADEQUATE.

MOUNT ANALYSIS NOTE 3

- INSTALL:**
(3) PROPOSED LTE ANTENNAS
(3) PROPOSED RRRHs
- REMOVE:**
(3) EXISTING LTE ANTENNAS
(3) EXISTING LTE 850 RRRHs

SCOPE OF WORK 4

- WHEN STACKING CABLES 3 OR MORE DEEP, USE STACKABLE SNAP-INs, TALLY PART NUMBER SSH-158-3 (OR ENGINEER APPROVED EQUAL).

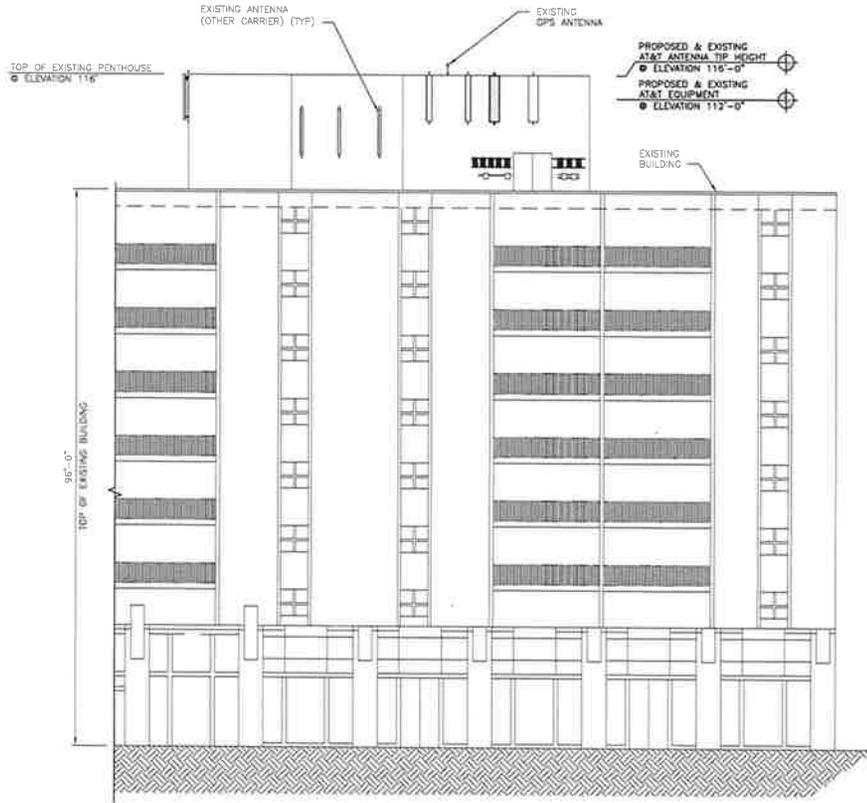
REV	DATE	DESCRIPTION
A	06-13-19	ISSUED FOR REVIEW

PROJECT LOCATION: USID (54308)

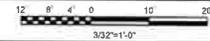
WOODWARD
401 SOUTH OLD WOODWARD AVENUE
BIRMINGHAM, MI 48009

DRAWING DESCRIPTION:
ELEVATION

DRAWING NUMBER:
T-1



FINAL BUILDING ELEVATION



1

NOTES

5

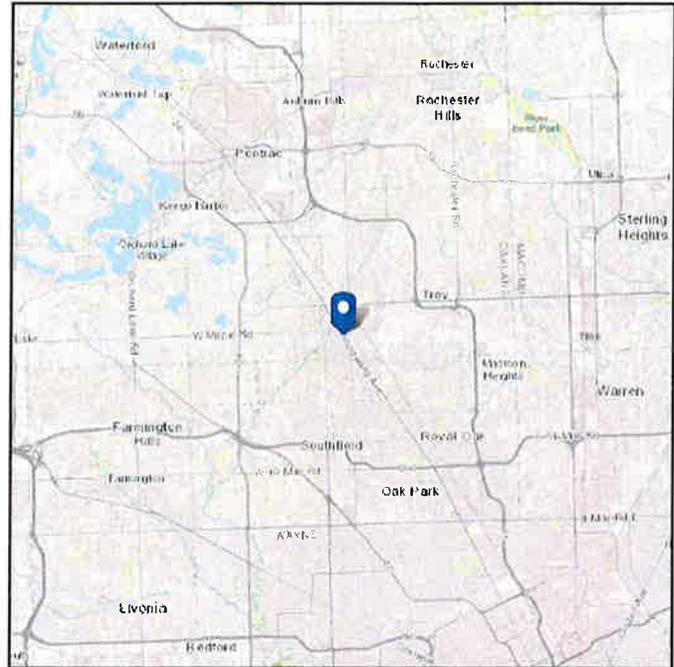
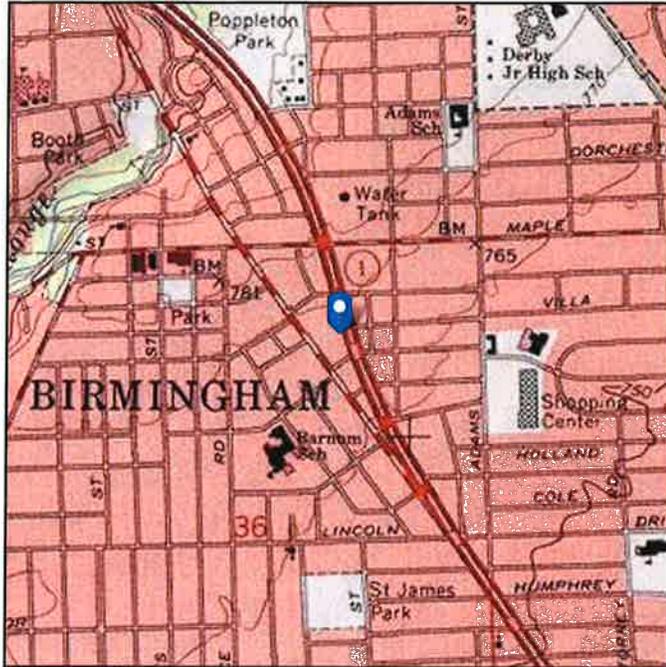


ASCE 7 Hazards Report

Address:
No Address at This
Location

Standard: ASCE/SEI 7-10
Risk Category: II
Soil Class: D - Stiff Soil

Elevation: 766.1 ft (NAVD 88)
Latitude: 42.544328
Longitude: -83.210825



Wind

Results:

Wind Speed:	115 Vmph
10-year MRI	76 Vmph
25-year MRI	84 Vmph
50-year MRI	90 Vmph
100-year MRI	96 Vmph

Data Source: ASCE/SEI 7-10, Fig. 26.5-1A and Figs. CC-1–CC-4, incorporating errata of March 12, 2014

Date Accessed: Tue May 21 2019

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-10 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years).

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-10 Section 26.2.

Mountainous terrain, gorges, ocean promontories, and special wind regions should be examined for unusual wind conditions.



Ice

Results:

Ice Thickness: 1.00 in.
 Concurrent Temperature: 5 F
 Gust Speed: 40 mph

Data Source: Standard ASCE/SEI 7-10, Figs. 10-2 through 10-8

Date Accessed: Tue May 21 2019

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain with concurrent 3-second gust speeds, for a 50-year mean recurrence interval, and temperatures concurrent with ice thicknesses due to freezing rain. Thicknesses for ice accretions caused by other sources shall be obtained from local meteorological studies. Ice thicknesses in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

The ASCE 7 Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE 7 standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE 7 standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE 7 Hazard Tool.

APPROVED

Steven Roby
10-8-19

**Administrative Approval Application
Planning Division**

Form will not be processed until it is completely filled out

1. Applicant

Name: NOVA CONSULTANTS INC.
Address: 21580 NOVI RD, SUITE # 300
NOVI, MICHIGAN 48375
Phone Number: (248) 347-3512
Fax Number: (248) 347-4152
Email: joe.ruffing@novaconsultants.com

Property Owner

Name: Steven B. Roby (ANN STREET PROPERTY LLC.)
Address: 566 ANN STREET
BIRMINGHAM, MICHIGAN 48009
Phone Number: (248) 554-8500
Fax Number: _____
Email: steven.robby@robbylaw.com

2. Applicant's Attorney/Contact Person

Name: Joe Ruffing
Address: NOVA CONSULTANTS INC.
21580 NOVI RD, SUITE #300, NOVI, MICHIGAN 48375
Phone Number: (248) 347-3512
Fax Number: (248) 347-4152
Email: joe.ruffing@novaconsultants.com

Project Designer

Name: Rick Marble
Address: NOVA CONSULTANTS INC.
21580 NOVI RD, SUITE #300, NOVI, MICHIGAN 48375
Phone Number: (248) 347-3512
Fax Number: (248) 347-4152
Email: rick.marble@novaconsultants.com

3. Project Information

Address/Location of Property: 566 ANN STREET
BIRMINGHAM, MICHIGAN 48009
Name of Development: SOLAR CARPORT CANOPY
Parcel ID #: 1936205034
Current Use: BUILDING
Area in Acres: 420.5 Sq.ft (Solar Carport Canopy)
Current Zoning: R3 (SINGLE FAMILY RESIDENTIAL)

Name of Historic District site is in, if any: N/A
Date of HDC Approval, if any: N/A
Date of Application for Preliminary Site Plan: N/A
Date of Preliminary Site Plan Approval: N/A
Date of Application for Final Site Plan: N/A
Date of Final Site Plan Approval: N/A
Date of Revised Final Site Plan Approval: N/A

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Material Samples/Specification Sheets
- Digital Copy of plans
- Two (2) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

On behalf of Ann Street Property LLC, NOVA Consultants Inc., is installing a 7.3 kW Solar Photovoltaic Carport Canopy System at the building located at 566 Ann Street, Birmingham, MI 48009. The proposed solar carport canopy will be 420.5 Sq.ft.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: *Joe Ruffing* Date: 10/2/19

Application #: <u>PA19-0134</u>	Office Use Only Date Received: <u>10/2/19</u>	Fee: <u>\$100</u>
Date of Approval: <u>10-8-19</u>	Date of Denial: _____	Reviewed by: <u><i>Steven Roby</i></u>



CONSENT OF PROPERTY OWNER

I, STEVEN B. ROBY (ANN STREET PROPERTY LLC), OF THE STATE OF MICHIGAN AND COUNTY OF
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 566 ANN STREET, BIRMINGHAM, MICHIGAN 48009 ;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
JOE RUFFING, NOVA CONSULTANTS INC. ;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 8/5/19

STEVEN B. ROBY (ANN STREET PROPERTY LLC.)

Owner's Name (Please Print)

Owner's Signature

ADMINISTRATIVE APPROVAL APPLICATION CHECKLIST – PLANNING DIVISION

Applicant: _____ Date: _____

Address: _____ Project: _____

All site plans and elevation drawings prepared for administrative approval shall be prepared in accordance with the following specifications and other applicable requirements of the City of Birmingham. If more than one page is used, each page shall be numbered sequentially. All plans must be legible and of sufficient quality to provide for quality reproduction or recording.

Administrative Approval of Design Changes

- _____ 1. Name and address of applicant and proof of ownership;
- _____ 2. Name of Development (if applicable);
- _____ 3. Address of site and legal description of the real estate;
- _____ 4. A separate location map;
- _____ 5. Legend and notes, including a graphic scale, north point, and date;
- _____ 6. A list of all requested design changes;
- _____ 7. Elevation drawings with all requested design changes marked in color;
- _____ 9. A list of all new materials to be used, including size specifications, color and the name of the manufacturer.

Administrative Approval of Site Plan Changes

A full site plan detailing the proposed changes for which administrative approval is requested shall be drawn at a scale no smaller than 1" = 100' (unless the drawing will not fit on one 24" X 36" sheet) and shall include:

- _____ 1. Name and address of applicant and proof of ownership;
- _____ 2. Name of Development (if applicable);
- _____ 3. Address of site and legal description of the real estate;
- _____ 4. Name and address of the land surveyor;
- _____ 5. Legend and notes, including a graphic scale, north point, and date;
- _____ 6. A separate location map;
- _____ 7. A map showing the boundary lines of adjacent land and the existing zoning of the area proposed to be developed as well as the adjacent land;
- _____ 8. A list of all requested changes to the site plan;
- _____ 9. All changes requested marked in color on the site plan and on all elevations of any building(s);
- _____ 10. A chart indicating the dates of approval of the Preliminary Site Plan, Final Site Plan; Revised Final Site Plans, and any dates of approval by the Historic District Committee ("HDC");
- _____ 11. Existing and proposed layout of streets, open space and other basic elements of the plan;
- _____ 12. Existing and proposed easements and their purpose;

- _____ 13. Location of natural streams, regulated drains, 100-year flood plains, floodway, water courses, marshes, wooded areas, isolated preservable trees, wetlands, historic features, existing structures, dry wells, utility lines, fire hydrants and any other significant feature(s) that may influence the design of the development;
- _____ 14. General description of, location of, and types of structures on the site;
- _____ 15. Details of existing or proposed lighting, signage, landscaping, and other pertinent development features;
- _____ 16. Any other information requested in writing by the Planning Division, the Planning Board, or the Building Official deemed important to the development.

PLEASE NOTE: All requests for administrative approval must comply with Ordinance No. _____, which outlines the terms and conditions under which administrative approval may be granted.

566 ANN ST Birmingham, MI 480091724 (Property Address)

Parcel Number: 08-19-36-205-034 Account Number: 00357-26360

Property Owner: ANN STREET PROPERTY LLC

Summary Information

- > Commercial/Industrial Building Summary
 - Yr Built: ***
 - Total Sq.Ft.: ***
- > *** Special Assessments found
 - > 19 Building Department records found
- > Assessed Value: \$***,*** | Taxable Value: \$***,***
 - > Property Tax information found
 - > Utility Billing information found

Access additional record information for a small convenience fee. *

> Additional areas of information include: *Property Information, Tax Information, Special Assessments Information, Utility Bill Info.*

Show Purchase Options

* Additional record information is free for all homeowners, click the 'Show Purchase Options' button for more information.

3 Associated Properties Found for This Parcel

Currently viewing **566 ANN ST**. [Click here to select a different property.](#)

Owner Information

ANN STREET PROPERTY LLC
566 ANN ST
BIRMINGHAM, MI 48009-1724

Attachments

Date Created	Title	Record
No records to display.		

Displaying items 0 - 0 of 0



NOVA Consultants, Inc.
 21580 Novi Road
 Suite 300
 Novi, MI 48375
 Phone: (248) 347-3512
 Fax: (248) 347-4152
 www.novaconsultants.com

ISSUED

DATE	ISSUED FOR	APPVD
7/3/19	INTERCONNECTION	SV
9/26/19	PERMITS	SV

VICINITY MAP



REVISED

NO.	DATE	DESCRIPTION	APPVD

Ann Street Property, LLC
 ROBY LAW
 Solar PV Canopy
 15.2 kW AC/19.8 kW DC
 566 ANN ST
 BIRMINGHAM, MI 48009

DESIGNED BY

RM

CHECKED BY

SV

SITE PLAN

DRAWN BY	RM	SHEET NUMBER
SCALE	NONE	C-101
DATE	7/3/19	

CLIENT SERVICE PANEL
 (LOCATED IN BASEMENT)

EXISTING UTILITY METER
 (LOCATED OUTSIDE AND
 ACCESSIBLE TO DTE)

SOLAR AC DISCONNECT
 (LOCABLE AND TAGGABLE
 LOCATED OUTSIDE AND
 ACCESSIBLE TO DTE)

SOLAR GENERATION
 METER

SOLAR INVERTER
 WITH EV CHARGER
 (LOCATED ON CANOPY
 POST)

ON SITE SOLAR
 GENERATOR



KEY PLAN

- SOLAR MODULES
- SOLAR INVERTER
- CLIENT SERVICE PANEL
- AC DISCONNECT
- Ⓜ METER

A1 PLAN VIEW: SOLAR ARRAY LAYOUT

Scale: None



NOVA Consultants, Inc.
21580 Novi Road
Suite 300
Novi, MI 48375

Phone: (248) 347-3512
Fax: (248) 347-4152

www.novaconsultants.com

ISSUED

DATE	ISSUED FOR	APPVD
8/27/19	PERMITS	SV

VICINITY MAP



REVISED

NO.	DATE	DESCRIPTION	APPVD

Ann Street Property, LLC
ROBY LAW
Solar PV Canopy
15.2 kW AC/19.8 kW DC

566 ANN ST
BIRMINGHAM, MI 48009

DESIGNED BY

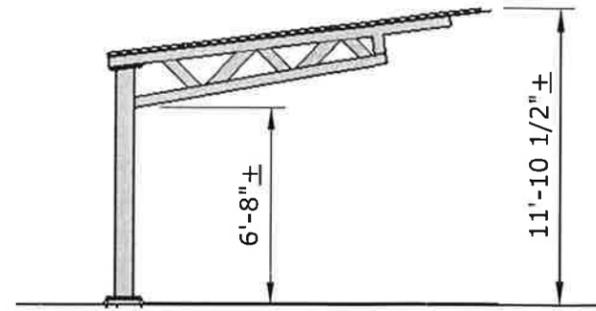
RM

CHECKED BY

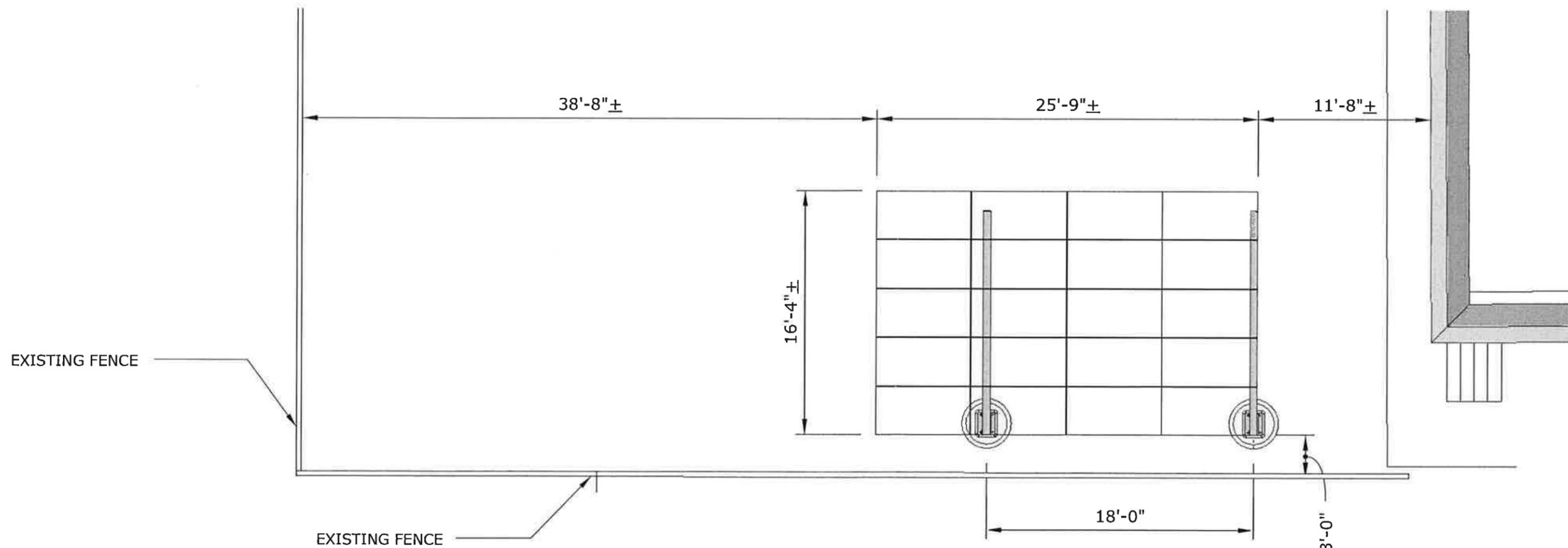
SV

FRAMING PLAN

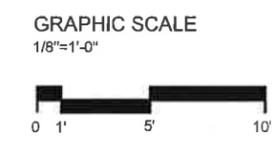
DRAWN BY	RM	SHEET NUMBER C-102
SCALE	NONE	
DATE	7/3/19	



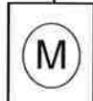
A1 ELEVATION
Scale: 1/8"=1'-0"



A1 FRAMING PLAN
Scale: 1/8"=1'-0"

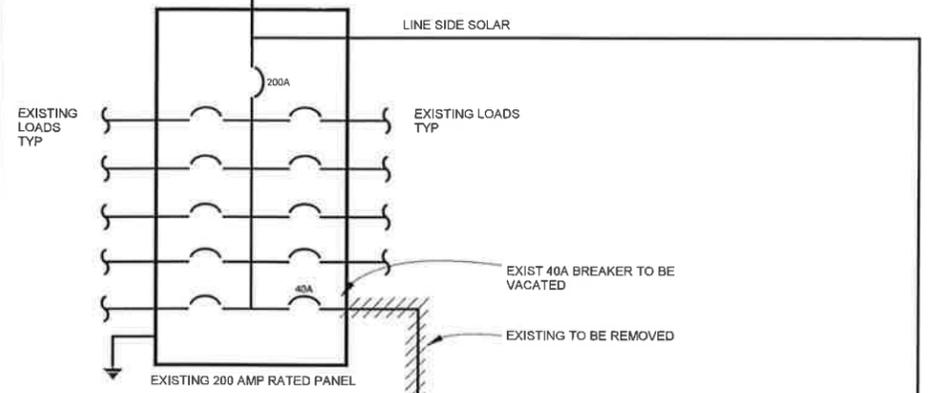


TO UTILITY



EXISTING DTE METER

EXTERIOR OF BUILDING
BASEMENT



LINE SIDE SOLAR

EXISTING LOADS TYP

EXIST 40A BREAKER TO BE VACATED

EXISTING TO BE REMOVED

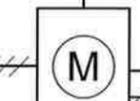
EXISTING 200 AMP RATED PANEL

BASEMENT
EXTERIOR OF BUILDING

EXISTING DISC SW-1
TO BE REMOVED
60A, 600V, 2 P
DISC SWITCH
UNFUSED
OUTSIDE AND
ACCESSIBLE TO DTE

NEW DISC SW-1
200A, 600V, 2 P
DISC SWITCH
FUSED
OUTSIDE AND
ACCESSIBLE TO
DTE

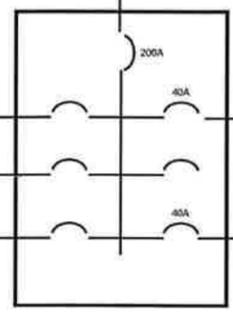
EXTERIOR OF BUILDING
BASEMENT



EXIST SOLAR GENERATION METER

EXISTING TO BE REMOVED

SPARE TYP



NEW PANEL
LOAD SIDE SOLAR CONNECTION

BASEMENT
CARPORT

EXISTING TO BE REMOVED

EXISTING ROOF TOP
ARRAY

INV-1
MOUNTED ON CARPORT SUPPORT COLUMN

SOLAREGE SE7600H-US
W/ INTEGRATED LEVEL 2 EV CHARGER
7.6 KW
240V, 2 PHASE, 3 WIRE

INV-AC-DISCONNECT

INV-DC-COMBINER

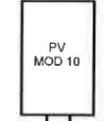
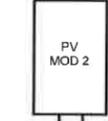
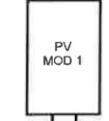
1

2

LEVEL 2 EV CHARGER



2



(+) (-)

(+) (-)

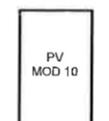
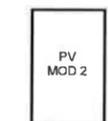
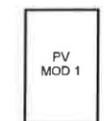
(+) (-)

OPTIMIZER

OPTIMIZER

OPTIMIZER

STRING 1-1



(+) (-)

(+) (-)

(+) (-)

OPTIMIZER

OPTIMIZER

OPTIMIZER

STRING 1-2

SHEET GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT MICHIGAN ELECTRICAL CODE 2017 NATIONAL ELECTRIC CODE (NEC), AND ALL APPLICABLE LOCAL CODES AND STANDARDS.

SHEET KEY NOTES

- 1. AC DISCONNECT SWITCH AND DC COMBINER ARE INTEGRAL WITH INVERTER.
- 2. DC RECOMBINER BOX IS FURNISHED WITH INTEGRAL DC DISCONNECT.



NOVA Consultants, Inc.
21580 Novi Road
Suite 300
Novi, MI 48375

Phone: (248) 347-3512
Fax: (248) 347-4152

www.novaconsultants.com

ISSUED

DATE	ISSUED FOR	APPVD
7/3/19	INTERCONNECTION	SV
7/15/19	INTERCONNECTION REVISION	SV
9/26/19	PERMITS	SV

VICINITY MAP



PV SYSTEM DESCRIPTION

PV MODULE MODEL: Astronergy, CHSM6612M-365 (365W)
 PV MODULE SIZE: 77.01 X 39.06 X 1.57
 PV MODULE Pmax: 365 W
 OPTIMIZERS: SOLAREGE P370
 INVERTERS: SOLAREGE SE7600H-US WITH INTEGRATED LEVEL 2 EV CHARGER
 NUMBER OF STRINGS PER INVERTER: 2
 NUMBER OF STRINGS: 2
 NUMBER OF MODULES PER STRING: 10
 NUMBER OF MODULES: 20
 NUMBER OF OPTIMIZERS: 20
 TOTAL NAMEPLATE SIZE: 6 KW AC
 7.3 KW DC

REVISED

NO.	DATE	DESCRIPTION	APPVD

Ann Street Property, LLC
 ROBY LAW
 Solar PV Canopy
 15.2 kW AC/19.8 kW DC

566 ANN ST
 BIRMINGHAM, MI 48009

DESIGNED BY

RM

CHECKED BY

SV

ONE LINE DIAGRAM

DRAWN BY

RM

SCALE

NONE

DATE

7/3/19

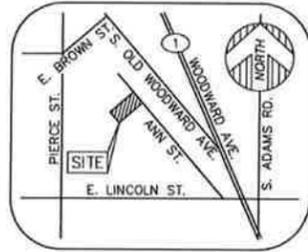
SHEET NUMBER

E-601

A1 ONE-LINE DIAGRAM

Scale: None

ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 0 STALLS
STANDARD PARKING = 8 STALLS

PARCEL AREA

6,511± SQUARE FEET = 0.150± ACRES

BUILDING AREA

FIRST FLOOR 1320 SQ FT
SOLAR CANOPY 420 SQ FT
TOTAL AREA 1740 SQ FT

COVERAGE

STRUCTURES AREA / PARCEL AREA
1740 SQ FT / 6511 SQ FT = 26.72 %

BASIS OF BEARING

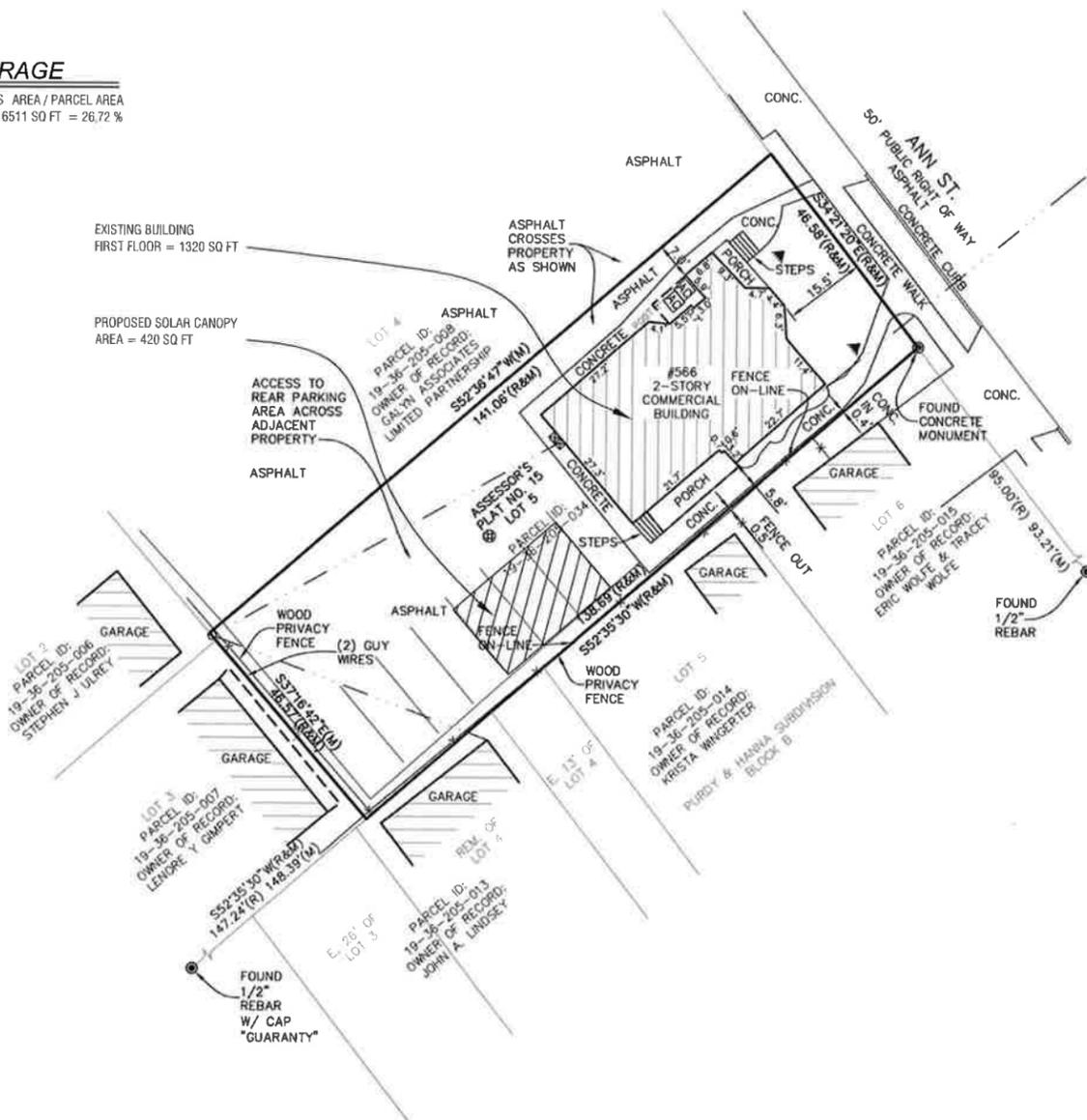
SOUTH 34°21'20" EAST, BEING THE WESTERLY RIGHT OF WAY LINE OF ANN ST. AS PLATTED.

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
⊙	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
⊕	ELECTRIC METER
○	UTILITY POLE
⊕	ROUND CATCH BASIN
AC	AIR CONDITIONING UNIT
▼	FLOOD LIGHT
—	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
—	BUILDING
- - -	BUILDING OVERHANG
—	BUILDING HATCH
—	CONCRETE CURB
—	EDGE OF CONCRETE (CONC.)
—	EDGE OF ASPHALT (ASPH.)
×	FENCE (AS NOTED)
---	OVERHEAD UTILITY LINE



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF BIRMINGHAM, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOT 5, ASSESSOR'S PLAT NO. 15, PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, VILLAGE (NOW CITY) OF BIRMINGHAM, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 51 OF PLATS, PAGE 25, OAKLAND COUNTY RECORDS.

566-568 ANN, BIRMINGHAM, COUNTY OF OAKLAND, MI
TAX I.D. NO.: 19-36-205-034

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE STEWART TITLE GUARANTY COMPANY FILE No. 1718433, DATED APRIL 04, 2017, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

NO SPECIFIC EASEMENTS LISTED

SURVEYOR'S CERTIFICATION

TO ROBY LAW ASSOCIATION PLLC, STEWART TITLE GUARANTY COMPANY, AND PARKS TITLE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 2, 4, 7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 26, 2017.

DATE OF PLAT OR MAP: MAY 01, 2017

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976

KEM-TEC & ASSOCIATES
PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
22556 GRATIOT AVE • EASTPOINTE, MICHIGAN 48021
(586)772-2222 • (800)295-7222 • FAX (586)772-4048

PREPARED FOR: ISHBIA AND GAGLEARD PC

DATE: MAY 01, 2017 JOB #: 17-01485

SCALE: 1" = 20' SHEET: 1 OF 1

DRW. BY: JDM REV.:

Administrative Approval Application

Planning Division

Form will not be processed until it is completely filled out

APPROVED
[Signature]
10-3-19

1. Applicant

Name: MGSE Security LLC / MIKE MULLINS
Address: 438 WHITNEY Dr.
ROCHESTER HILLS MI 48307
Phone Number: 248-762-4940
Fax Number: _____
Email: mgselec@gmail.com

Property Owner

Name: CITY OF BIRMINGHAM
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

2. Applicant's Attorney/Contact Person

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information

Address/Location of Property: 2100 E LINCOLN ST.
BIRMINGHAM MI 48307
Name of Development: BIRMINGHAM RACQUET CLUB
Parcel ID #: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

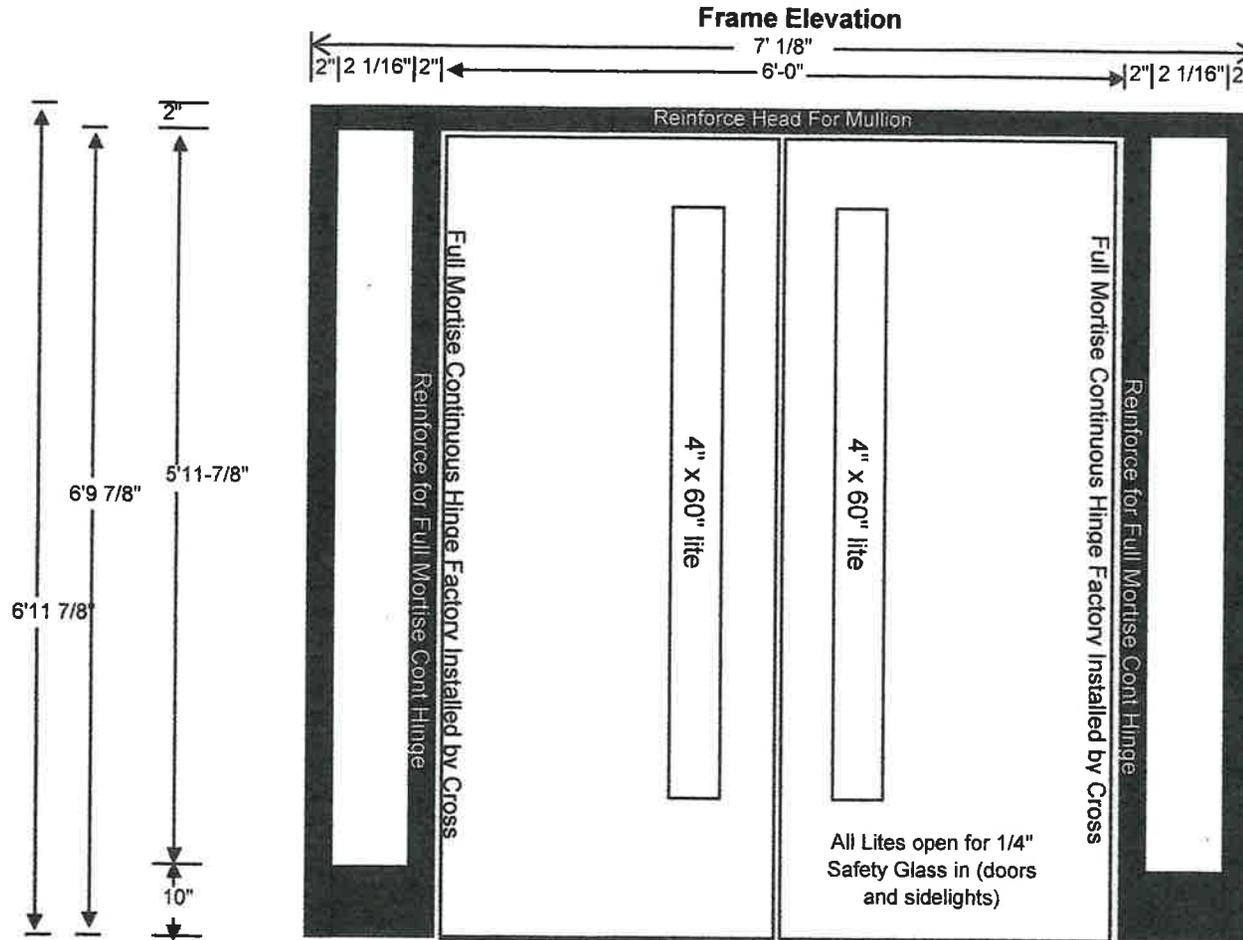
REMOVE EXISTING DOORS FROM EXTERIOR
INSTALL NEW FRAME, DOORS & HARDWARE ON EXTERIOR & INTERIOR VESTIBULE
DOOR
INSTALL NEW CONCRETE SLAB FOR BOLLARD POST

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: *[Signature]*

Date: 8-25-2019

		Office Use Only	
Application #: <u>PA19-0161</u>	Date Received: _____	Fee: _____	
Date of Approval: <u>10-3-19</u>	Date of Denial: _____	Reviewed by: <u><i>[Signature]</i></u>	



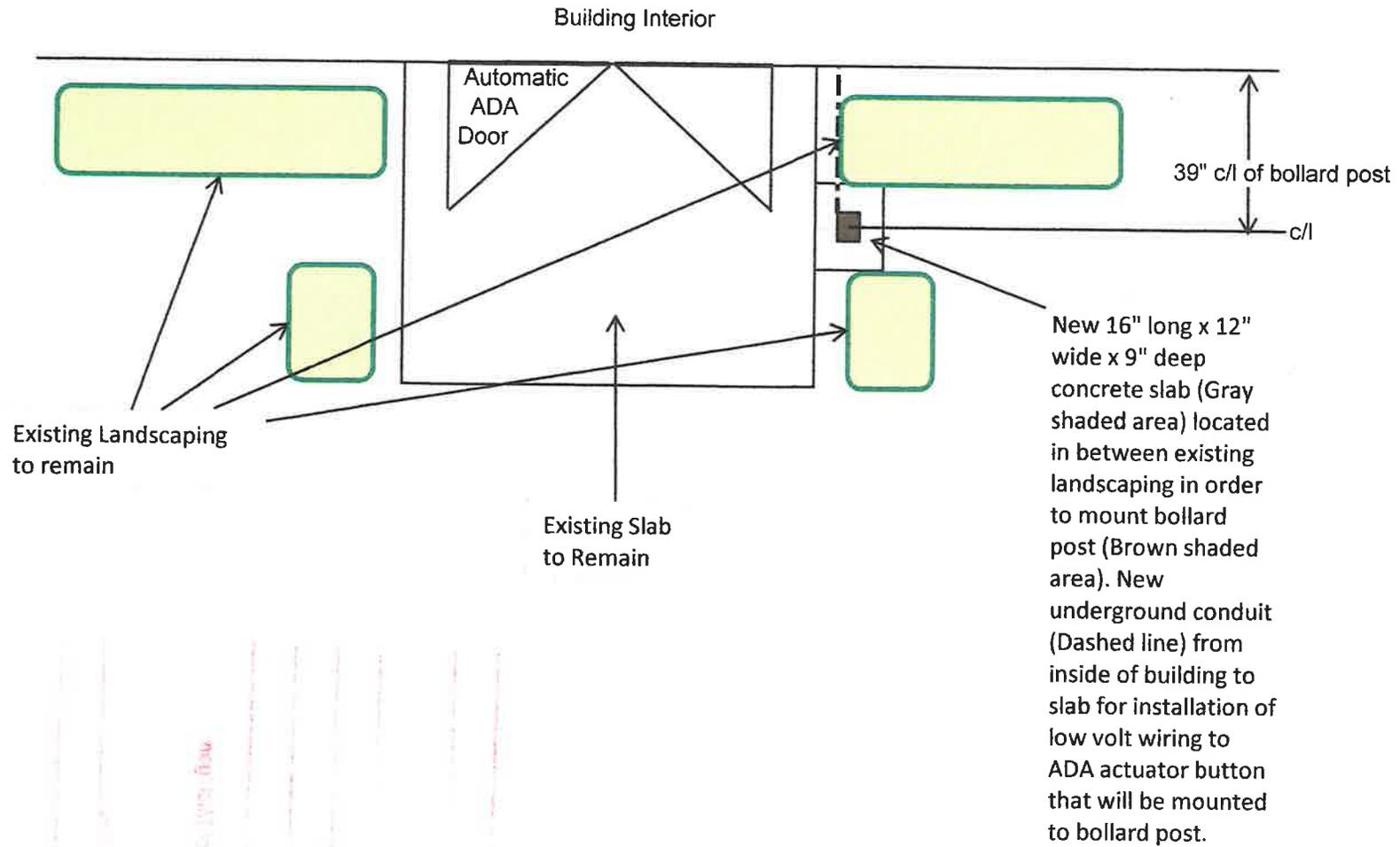
- 6070 Door Pair
Hardware:
- Hinges
 - 2ea. Select SL11 BR 83
 - Exits
 - 2ea. Sargent 8800 Rim Exit 630
 - 1ea. Rim Cylinder Cup
 - 1ea. Keyed Rim Cylinder
 - Door Pull
 - 2ea. 90Degree Offset Door Pull 630
 - Closers
 - 1ea. PDQ Surface Mount DKB
 - 1ea. MAC-LCN 9540 DKB Auto-Operator
 - Mullion
 - 1ea. Detex F90KR 2x3 Steel
 - Threshold
 - 1ea. NGP 72" x 7" x 1/2" Aluminum
 - Sweeps
 - 2ea. NGP 601 36" DKB
- 3070 Single Narrow Stile
Hardware:
- Hinge
 - 1ea. Select SL11 BR 83
 - Door Pull/Push
 - 1ea. 90Degree Offset Door Pull 630
 - 1ea. 33" CTC Tubular Push Bar x 90Degree Offset Door Pull 630
 - Closer
 - 1ea. MAC-LCN 9540 DKB Auto-Operator

Project: Birmingham Racquet Club
 Location: 2100 E Lincoln St., Birmingham, MI 48009
 Submitted By: MGSE Security LLC



Date: 8/19/2019
 Page: 1 of 2

Exterior Topographies



Project: Birmingham Racquet Club
Location: 2100 E Lincoln St., Birmingham, MI 48009
Submitted By: MGSE Security LLC

Date: 8/19/2019
Page: 2 of 2



CITY OF BIRMINGHAM
Date 08/27/2019 9:37:03 AM
Ref 00162127
Receipt 500360
Amount \$100.00

Administrative Approval Application Planning Division

Form will not be processed until it is completely filled out

APPROVED
9/9/19
PAA-19-0142

1. Applicant NICK TALMERS
Name: NICK TALMERS
Address: 555 PLEASANT
BHAM, AL 35202
Phone Number: 248-789-5847
Fax Number: _____
Email: NTALMERS@MSK.COM

Property Owner
Name: WICO METALS
Address: 23500 SHEXWOOD
WADSWORTH, AL
Phone Number: 586-755-9600
Fax Number: CELL 586-530-4766
Email: DESKER@WICOMETALS.COM

2. Applicant's Attorney/Contact Person
Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

Project Designer
Name: M.J. DUK
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information
Address/Location of Property: 36801 WOODMAN
Name of Development: _____
Parcel ID #: _____
Current Use: _____
Area in Acres: _____
Current Zoning: _____

Name of Historic District site is in, if any: _____
Date of HDC Approval, if any: _____
Date of Application for Preliminary Site Plan: _____
Date of Preliminary Site Plan Approval: _____
Date of Application for Final Site Plan: _____
Date of Final Site Plan Approval: _____
Date of Revised Final Site Plan Approval: _____

4. Attachments

- Warranty Deed with legal description of property
- Authorization from Owner(s) (if applicant is not owner)
- Completed Checklist
- Six (6) folded copies of plans including an itemized list of all changes for which administrative approval is requested, with the changes marked in color on all elevations

5. Details of the Request for Administrative Approval

SEE
MOVE GREENSPACE TO PARKING LOT.

The undersigned states the above information is true and correct, and understands that it is the responsibility of the applicant to advise the Planning Division and / or Building Division of any additional changes to the approved site plan.

Signature of Applicant: [Signature] Date: 8/26/19

Application #: <u>PAA-19-0142</u>	Office Use Only Date Received: <u>8/26/19</u>	Fee: <u>\$100.00</u>
Date of Approval: <u>9/9/19</u>	Date of Denial: <u>N/A</u>	Reviewed by: _____

RECEIVED
AUG 26 2019
CITY OF BIRMINGHAM
COMMUNITY DEVELOPMENT DEPARTMENT



CONSENT OF PROPERTY OWNER

I, DAVE FISHER, OF THE STATE OF ME AND COUNTY OF
(Name of property owner)

OAKLAND STATE THE FOLLOWING:

1. That I am the owner of real estate located at 36801 WOODMAN;
(Address of affected property)
2. That I have read and examined the Application for Administrative Approval made to the City of Birmingham by:
NICH TOWNSEND;
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the City of Birmingham.

Dated: 11/30/19

DAVE FISHER
Owner's Name (Please Print)

[Signature]
Owner's Signature

FW: 36801 Woodward & Lunghamer residence

David Fisher <DFisher@wicometal.com>

Mon 8/26/2019 3:53 PM

To: ntlmers@msn.com <ntlmers@msn.com>

Here you go.

David Fisher

Wico Metal Products

586-530-4766

From: jelunghamer@aol.com**Sent:** Friday, August 23, 2019 4:46 PM**To:** [David Fisher](mailto:DFisher@wicometal.com)**Subject:** Re: 36801 Woodward & Lunghamer residence

Dave everything looks good. You have my approval for your project nice job Joe Lunghamer

-----Original Message-----

From: David Fisher <DFisher@wicometal.com>

To: jelunghamer@aol.com <jelunghamer@aol.com>; ntlmers@msn.com <ntlmers@msn.com>;mdul@mjdul.com <mdul@mjdul.com>

Sent: Fri, Aug 23, 2019 3:43 pm

Subject: 36801 Woodward & Lunghamer residence

Hi Mr. Lunghamer,

Pursuant to our conversation today, attached is the architectural drawing reflecting the shift in green space from the Southwest end of the parking lot to the Northeast & Northwest end of the parking lot.

If you find the drawing acceptable, please send a confirming email indicating your approval.

Thanks for your time.

David Fisher

Wico Metal Products

586-530-4766

PLANT & MATERIAL SCHEDULE						
Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments
Deciduous Trees						
AR	3	<i>Cercis canadensis</i>	Eastern Redbud	3" cal.	B4B	Full uniform heads, single stem
CO	2	<i>Cornus florida</i>	Flowering Dogwood	3" cal.	B4B	Full uniform heads, single stem
Shrubs						
IV	1B	<i>Itea virginica</i> 'Little Henry'	Little Henry Itea	18-24"	B4B	Space 48" o.c., min 3 gal.
SJMC	1D	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spirea	3 gal.	Can	Space 36" o.c.
Materials						
CS		1/2-3/4" dia. Washed Crushed Natural Stone (9A)-6" deep on 4 oz. non-woven filter fabric				
SB		Shredded hardwood bark mulch (seasoned, dark brown), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds.				
PM		Planting Mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss, to 1 part natural compost (weed-free), and 40lbs of poultry manure per cubic yard, install 9" deep in all landscape beds				

LANDSCAPE DEVELOPMENT NOTES

- 1) ALL EXISTING AND/OR PROPOSED SITE UTILITIES SHALL BE FIELD LOCATED, FLAGGED, AND VERIFIED PRIOR TO ANY LANDSCAPE CONSTRUCTION.
- 2) ALL SPECIFIED AND INSTALLED PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH AMERICAN NURSERYMAN STANDARDS (LATEST EDITION) AND BE:
 - A) NURSERY GROWN.
 - B) STATE DEPARTMENT OF AGRICULTURE INSPECTED AND APPROVED.
 - C) NO 1 GRADE WITH STRAIGHT, UNSCARRED TRUNKS & WELL-DEVELOPED UNIFORM CROWNS ON TREES.
 - D) WARRANTED FOR A MIN 1 YEAR FROM DATE OF ACCEPTANCE.
- 3) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS & PLANTS SHALL BE THREE (3) PARTS IMPORTED WELL-DRAINED, SCREENED ORGANIC TOPSOIL, TO ONE (1) PART IMPORTED CLEAN SAND, TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS, TO ONE (1) PART NATURAL COMPOST (WEED-FREE)-COMPLETE WITH 1% NATURAL POULTRY MANURE. INSTALL 12" MINIMUM DEPTH IN ALL PERENNIAL, GROUNDCOVER, ANNUAL, AND SHRUB BEDS. ALL BEDS MUST BE EXCAVATED, REMOVE AND DISPOSE (OFF-SITE) EXISTING EARTH/SOIL TO ACCEPT PROPOSED PLANT MIXTURE.
- 4) PROPOSED SHREDDED HARDWOOD BARK MULCH SHALL BE SEASONED FOR A MINIMUM 6 MONTHS, DARK BROWN IN COLOR, AND INSTALLED 4" DEEP UNDER ALL PROPOSED TREES (INCLUDED IN UNIT COST), 4" DEEP IN ALL SHRUB AND TREE BEDS, AND 3" DEEP IN ALL PERENNIAL AND GROUNDCOVER BEDS.
- 5) THE LANDSCAPE CONTRACTOR SHALL KEEP THE STREET AND DRIVE CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES, AND SHALL THOROUGHLY SWEEP AND/OR WASH THE DRIVE AT THE END OF EACH WORK DAY.
- 6) ALL DEAD AND UNACCEPTABLE PLANT MATERIALS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR DURING THE WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE ONE (1) YEAR FROM THE ACCEPTANCE OF INSTALLATION ISSUED BY THE LANDSCAPE ARCHITECT.

ORDINANCE REQUIREMENTS
CITY OF BIRMINGHAM, MICHIGAN

PARKING LOT	6,330 SF.
REQUIRED LANDSCAPED AREA (5%)	415 SF.
PROPOSED LANDSCAPED AREA	533 SF.
REQUIRED LANDSCAPE AREA TREES (475/15@)	3
PROPOSED LANDSCAPE AREA TREES	2
REQUIRED PARKING LOT (25@)	3
PROPOSED TREES	3

*NATIVE TREES PROPOSED = 20% REDUCTION IN TOTAL NUMBER OF TREES REQUIRED, 5 TOTAL TREES PROPOSED INSTEAD OF 6.

LANDSCAPE ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC

212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819

www.mjdul.com



36801 Woodward Avenue
Birmingham, MI 48009

PROJECT

Landscape Development

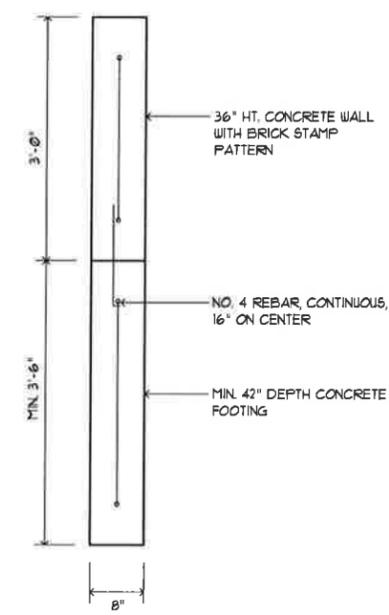
Parking Lot
Landscape Plan

SHEET TITLE

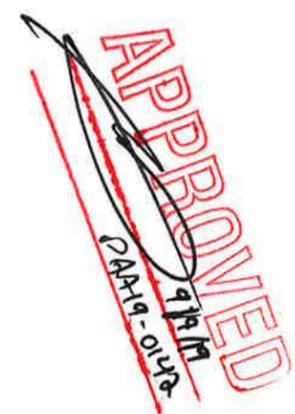
1/16" = 1'-0"

SCALE

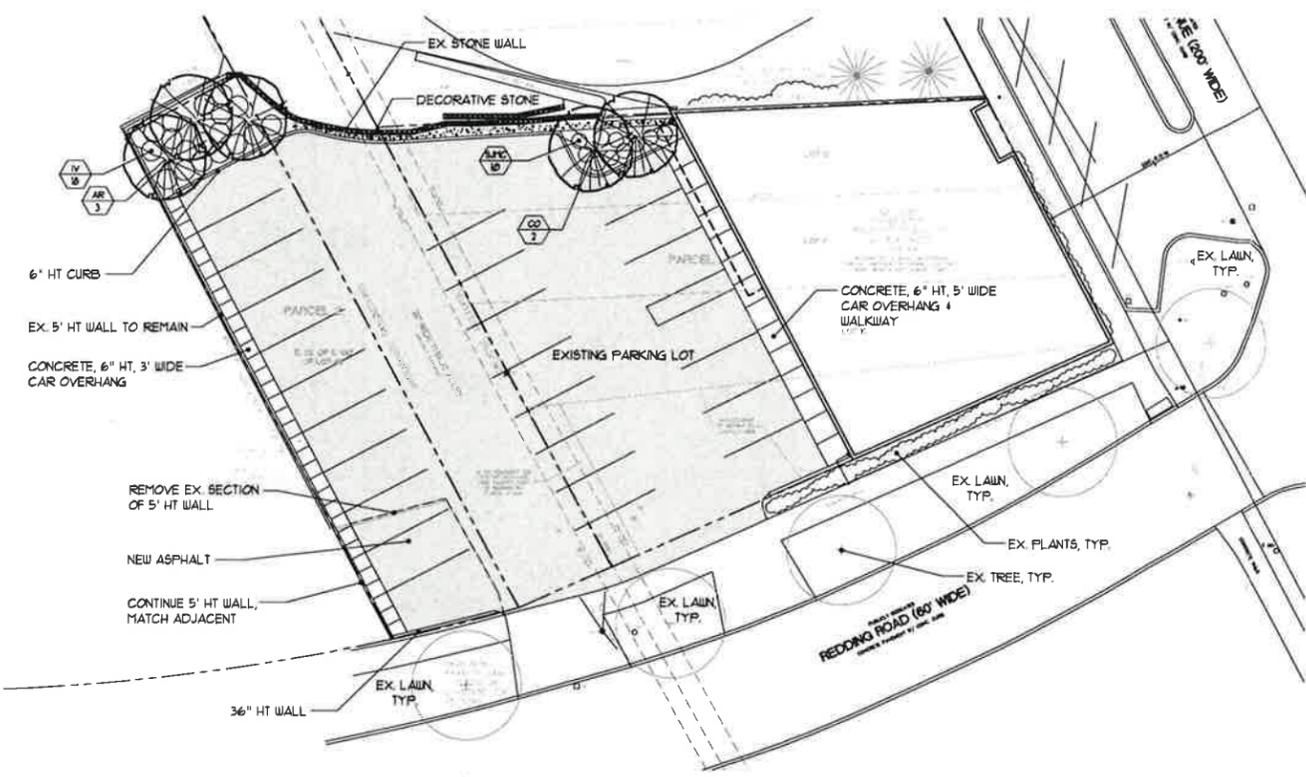
PROJECT NUMBER: 19155
DRAWN: M. Clark
CHECKED: M. Dul
DATE: August 14, 2019
REVISIONS: August 29, 2019



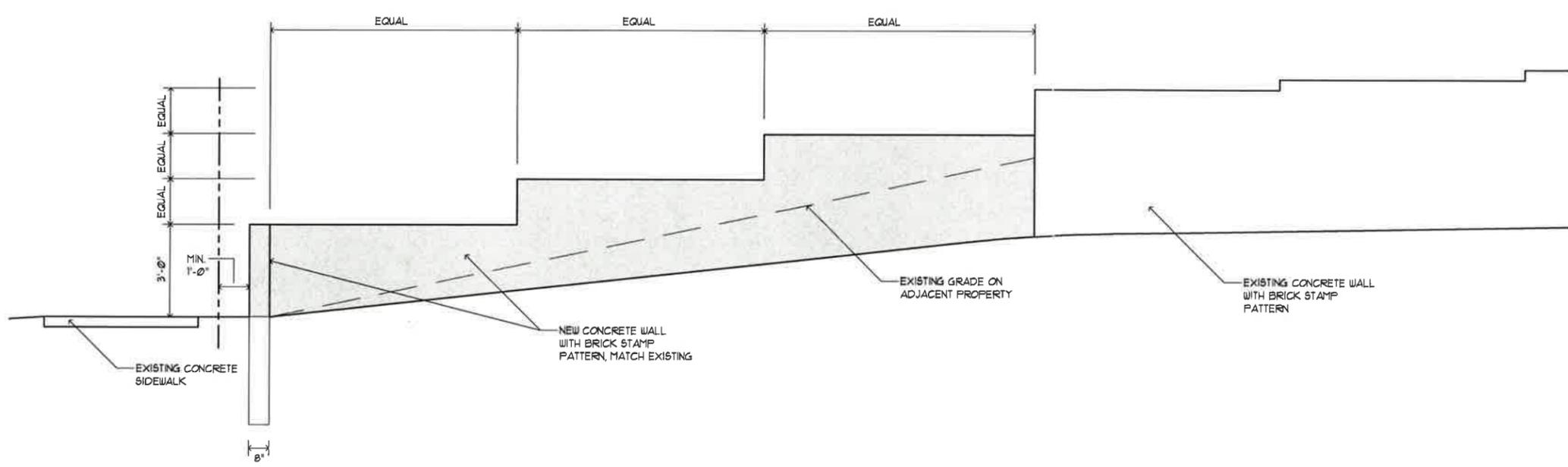
C Southwest Perimeter Wall
L1 Section Scale: 1"=1'-0"



L1



A Landscape Plan
L1 Plan Scale: 1/16"=1'-0"



B Southwest Perimeter Wall
L1 Elevation Scale: 1/2"=1'-0"